

# PEPPERFIELD

## LIFESTYLE RESORT BOWRAL



VIEW:  
SOUTH WESTERNLY APPROACH FROM WISEMAN ROAD

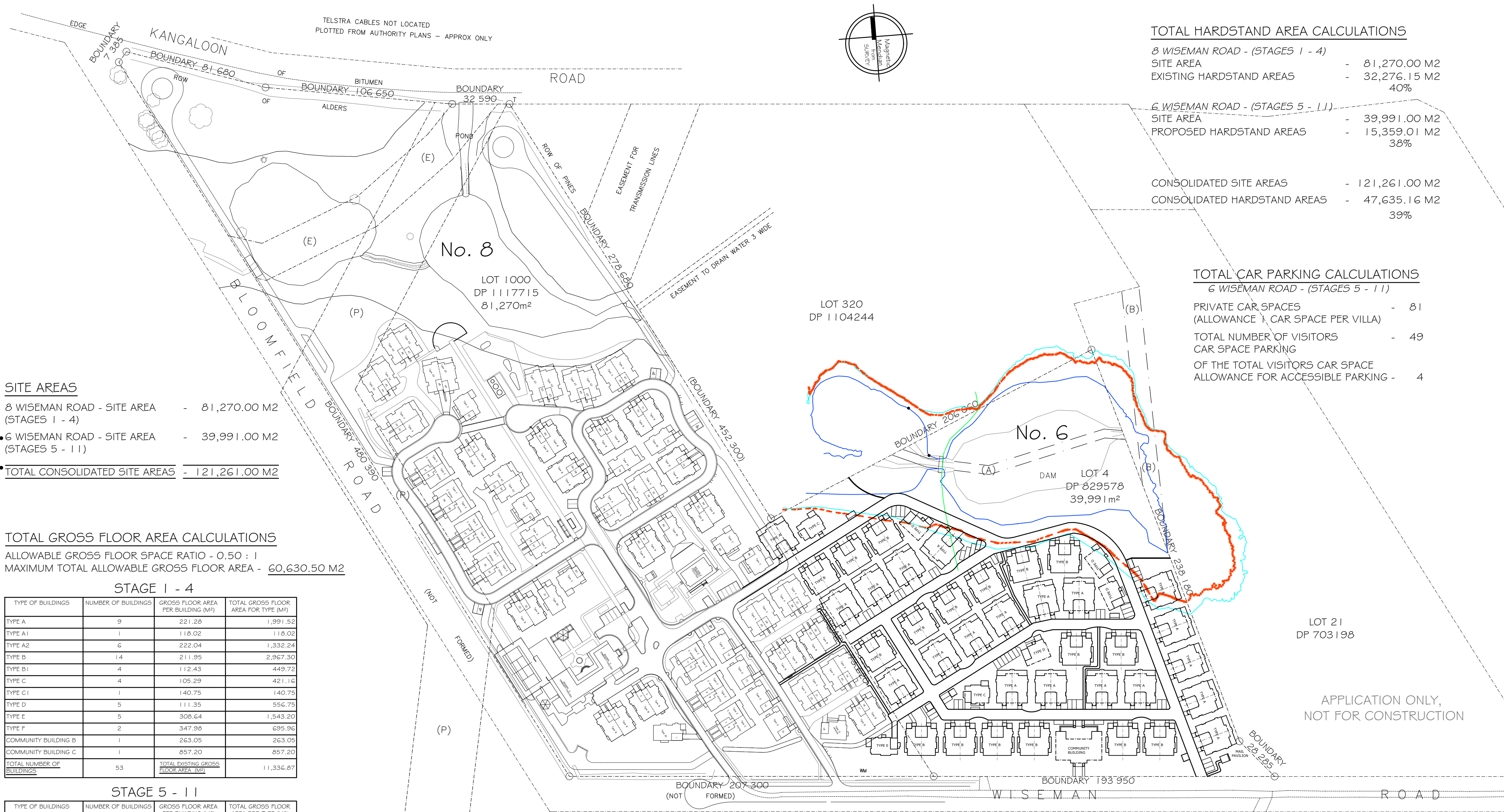
PROPOSED ADDITIONAL SENIORS HOUSING UNITS  
TO EXISTING SENIORS HOUSING DEVELOPMENT  
INCLUDING CONSOLIDATION OF  
LOT 1000 - DP 1117715 & LOT 4 - DP 829578  
No. 6 & 8 WISEMAN ROAD, BOWRAL 2576.

PEPPERFIELD LIFESTYLE RESORT BOWRAL				
SHEET SCHEDULE				
JOB NUMBER	SHEET NUMBER	SHEET NAME	SCALE	AMENDMENT
115/20	1/2	WHOLE SITE	1 : 1,500 @ A2	DA/10
	2/2	DETAILED SITE	1 : 500 @ A2	DA/10
	PD	PROJECT DETAILS	NIL @ A2	DA/10
	A/1	TYPE A BUILDING DETAILS	1 : 100 @ A1	DA/10
	A/2	TYPE A BUILDING DETAILS	1 : 100 @ A1	DA/10
	B/1	TYPE B BUILDING DETAILS	1 : 100 @ A1	DA/10
	B/2	TYPE B BUILDING DETAILS	1 : 100 @ A1	DA/10
	C	TYPE C BUILDING DETAILS	1 : 100 @ A1	DA/10
	D/F	TYPE D FRONT BUILDING DETAILS	1 : 100 @ A1	DA/10
	D/S	TYPE D SIDE BUILDING DETAILS	1 : 100 @ A1	DA/10
	E	TYPE E BUILDING DETAILS	1 : 100 @ A1	DA/10
	CB	COMMUNITY BUILDING D DETAILS	1 : 100 @ A1	DA/10
	SE	STREETSCAPE ELEVATIONS	1 : 400 @ A2	DA/10



EVOLVING DESIGN





**SITE AREAS**

8 WISEMAN ROAD - SITE AREA (STAGES 1 - 4)	-	81,270.00 M2
6 WISEMAN ROAD - SITE AREA (STAGES 5 - 11)	-	39,991.00 M2
<b>TOTAL CONSOLIDATED SITE AREAS</b>	-	<b>121,261.00 M2</b>

**TOTAL HARDSTAND AREA CALCULATIONS**

8 WISEMAN ROAD - (STAGES 1 - 4)	
SITE AREA	- 81,270.00 M2
EXISTING HARDSTAND AREAS	- 32,276.15 M2
	40%
6 WISEMAN ROAD - (STAGES 5 - 11)	
SITE AREA	- 39,991.00 M2
PROPOSED HARDSTAND AREAS	- 15,359.01 M2
	38%
CONSOLIDATED SITE AREAS	- 121,261.00 M2
CONSOLIDATED HARDSTAND AREAS	- 47,635.16 M2
	39%

**TOTAL CAR PARKING CALCULATIONS**

6 WISEMAN ROAD - (STAGES 5 - 11)

PRIVATE CAR SPACES (ALLOWANCE 1 CAR SPACE PER VILLA)	- 81
TOTAL NUMBER OF VISITORS CAR SPACE PARKING OF THE TOTAL VISITORS CAR SPACE ALLOWANCE FOR ACCESSIBLE PARKING	- 4

**TOTAL GROSS FLOOR AREA CALCULATIONS**

ALLOWABLE GROSS FLOOR SPACE RATIO - 0.50 : 1

MAXIMUM TOTAL ALLOWABLE GROSS FLOOR AREA - 60,630.50 M2

**STAGE 1 - 4**

TYPE OF BUILDINGS	NUMBER OF BUILDINGS	GROSS FLOOR AREA PER BUILDING (M²)	TOTAL GROSS FLOOR AREA FOR TYPE (M²)
TYPE A	9	221.28	1,991.52
TYPE A1	1	118.02	118.02
TYPE A2	6	222.04	1,332.24
TYPE B	14	211.95	2,967.30
TYPE B1	4	112.43	449.72
TYPE C	4	105.29	421.16
TYPE C1	1	140.75	140.75
TYPE D	5	111.35	556.75
TYPE E	5	308.64	1,543.20
TYPE F	2	347.98	695.96
COMMUNITY BUILDING B	1	263.05	263.05
COMMUNITY BUILDING C	1	857.20	857.20
TOTAL NUMBER OF BUILDINGS	53	TOTAL EXISTING GROSS FLOOR AREA (M²)	11,336.87

**STAGE 5 - 11**

TYPE OF BUILDINGS	NUMBER OF BUILDINGS	GROSS FLOOR AREA PER BUILDING (M²)	TOTAL GROSS FLOOR AREA FOR TYPE (M²)
TYPE A	20	221.40	4,428.00
TYPE B	17	210.92	3,585.64
TYPE C	2	108.17	216.34
TYPE D	4	112.80	451.20
TYPE E	1	110.13	110.13
COMMUNITY BUILDING D	1	352.95	352.95
TOTAL NUMBER OF BUILDINGS	45	TOTAL PROPOSED GROSS FLOOR AREA (M²)	9,144.26

STAGE 1 - 4 EXISTING GROSS FLOOR AREA	-	11,336.87 M2	0.14 : 1
STAGE 5 - 11 PROPOSED GROSS FLOOR AREA	-	9,144.26 M2	0.23 : 1
<b>TOTAL CONSOLIDATED GROSS FLOOR AREAS</b>	-	<b>20,481.13 M2</b>	<b>0.17 : 1</b>

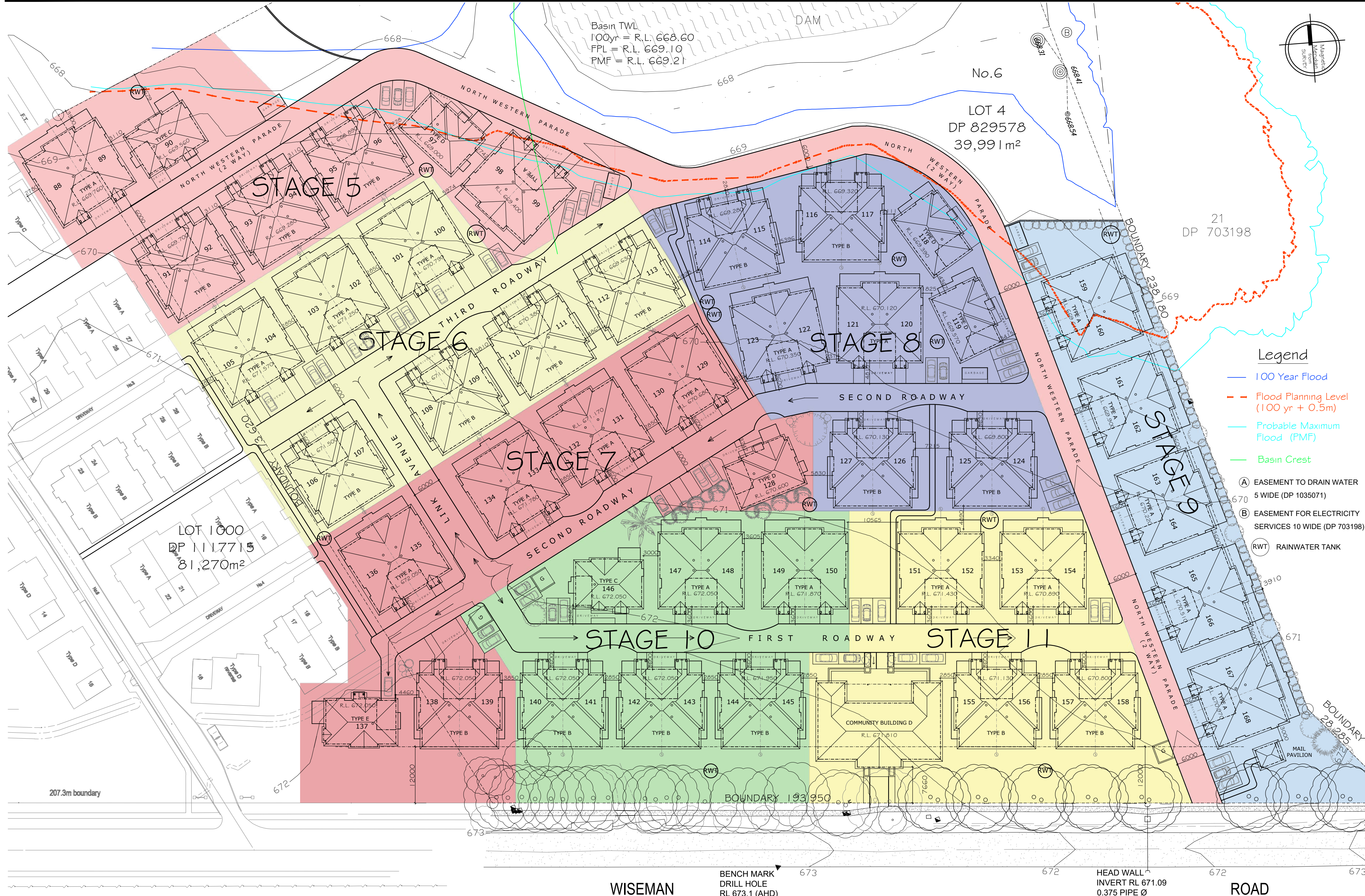
- (E) EASEMENT TO DRAIN WATER 20 WIDE
- (P) EASEMENT FOR TRANSMISSION LINES 36.58 WIDE
- (A) EASEMENT TO DRAIN WATER 5 WIDE (DP 1035071)
- (B) EASEMENT FOR ELECTRICITY SERVICES 10 WIDE (DP 703198)

- Legend**
- 100 Year Flood
  - Flood Planning Level (100 yr + 0.5m)
  - Probable Maximum Flood (PMF)
  - Basin Crest

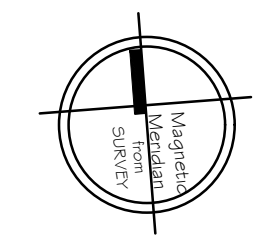


LOCATION MAP (SOURCE - SIX MAPS)





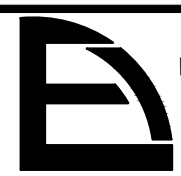
Basin TWL  
100yr = R.L. 668.60  
FPL = R.L. 669.10  
PMF = R.L. 669.21



Legend

- 100 Year Flood
- Flood Planning Level (100 yr + 0.5m)
- Probable Maximum Flood (PMF)
- Basin Crest
- (A) EASEMENT TO DRAIN WATER 5 WIDE (DP 1035071)
- (B) EASEMENT FOR ELECTRICITY SERVICES 10 WIDE (DP 703198)
- (RWT) RAINWATER TANK

APPLICATION ONLY,  
NOT FOR CONSTRUCTION



EVOLVING DESIGN & DRAFTING.  
NO: SHOP 6 - 459 GREAT WESTERN HIGHWAY,  
FAULCONBRIDGE. NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: DETAILED SITE PLAN  
SCALE: 1 : 500@ A2 DATE: 04.05.22

JOB No.	115/20
SHEET NO	2/2
AMENDMENT	DA10



DWELLING / VILLA NUMBER	NUMBER OF BEDROOMS	CONDITIONED FLOOR AREA (m²)	UNCONDITIONED FLOOR AREA (m²)	GARAGE FLOOR AREA (m²)	HEATING THERMAL PERFORMANCE (MJ/m²)	COOLING THERMAL PERFORMANCE (MJ/m²)	AREA OF GARDEN & LAWN (m²)	INDIGENOUS SPECIES (min area m²)
VILLA 88	2	100.00	27.00	19.00	141.70	19.20	0.00	-
VILLA 89	2	100.00	27.00	19.00	115.00	19.60	0.00	-
VILLA 90	2	96.00	27.00	19.00	132.20	26.80	0.00	-
VILLA 91	2	95.00	28.00	20.00	133.60	14.30	0.00	-
VILLA 92	2	95.00	28.00	20.00	106.90	12.60	0.00	-
VILLA 93	2	95.00	28.00	20.00	133.10	14.70	0.00	-
VILLA 94	2	95.00	28.00	20.00	106.70	12.60	0.00	-
VILLA 95	2	95.00	28.00	20.00	133.10	14.70	0.00	-
VILLA 96	2	95.00	28.00	20.00	109.40	12.40	0.00	-
VILLA 97	2	103.00	29.00	23.00	164.30	17.40	0.00	-
VILLA 98	2	100.00	27.00	19.00	112.70	21.70	0.00	-
VILLA 99	2	100.00	27.00	19.00	142.50	22.00	0.00	-
VILLA 100	2	100.00	27.00	19.00	112.50	19.60	0.00	-
VILLA 101	2	100.00	27.00	19.00	142.10	19.80	0.00	-
VILLA 102	2	100.00	27.00	19.00	115.60	19.50	0.00	-
VILLA 103	2	100.00	27.00	19.00	142.10	19.80	0.00	-
VILLA 104	2	100.00	27.00	19.00	115.60	19.50	0.00	-
VILLA 105	2	100.00	27.00	19.00	142.50	19.50	0.00	-
VILLA 106	2	95.00	28.00	20.00	132.40	15.00	0.00	-
VILLA 107	2	95.00	28.00	20.00	100.40	13.70	0.00	-
VILLA 108	2	95.00	28.00	20.00	129.80	16.40	0.00	-
VILLA 109	2	95.00	28.00	20.00	104.10	12.90	0.00	-
VILLA 110	2	95.00	28.00	20.00	132.20	15.10	0.00	-
VILLA 111	2	95.00	28.00	20.00	103.90	12.90	0.00	-
VILLA 112	2	95.00	28.00	20.00	132.10	15.30	0.00	-
VILLA 113	2	95.00	28.00	20.00	103.00	13.00	0.00	-
VILLA 114	2	95.00	28.00	20.00	124.00	14.70	0.00	-
VILLA 115	2	95.00	28.00	20.00	105.60	12.20	0.00	-
VILLA 116	2	95.00	28.00	20.00	119.30	14.10	0.00	-
VILLA 117	2	95.00	28.00	20.00	112.20	10.90	0.00	-
VILLA 118	2	103.00	29.00	23.00	134.30	18.80	0.00	-
VILLA 119	2	103.00	29.00	23.00	144.70	16.30	0.00	-
VILLA 120	2	100.00	27.00	19.00	126.60	14.30	0.00	-
VILLA 121	2	100.00	27.00	19.00	130.60	16.40	0.00	-
VILLA 122	2	100.00	27.00	19.00	121.10	16.30	0.00	-
VILLA 123	2	100.00	27.00	19.00	134.60	17.80	0.00	-
VILLA 124	2	95.00	28.00	20.00	103.90	12.00	0.00	-
VILLA 125	2	95.00	28.00	20.00	117.50	14.50	0.00	-
VILLA 126	2	95.00	28.00	20.00	106.00	12.10	0.00	-
VILLA 127	2	95.00	28.00	20.00	118.20	14.40	0.00	-
VILLA 128	2	103.00	29.00	23.00	152.50	17.50	0.00	-
VILLA 129	2	100.00	27.00	19.00	117.10	19.20	0.00	-
VILLA 130	2	100.00	27.00	19.00	142.30	19.80	0.00	-
VILLA 131	2	100.00	27.00	19.00	115.70	19.40	0.00	-
VILLA 132	2	100.00	27.00	19.00	142.30	19.80	0.00	-
VILLA 133	2	100.00	27.00	19.00	115.70	19.40	0.00	-
VILLA 134	2	100.00	27.00	19.00	139.60	21.10	0.00	-
VILLA 135	2	100.00	27.00	19.00	111.20	20.40	0.00	-
VILLA 136	2	100.00	27.00	19.00	141.20	19.90	0.00	-
VILLA 137	2	97.00	25.00	19.00	128.70	16.40	0.00	-
VILLA 138	2	95.00	28.00	20.00	118.60	13.90	0.00	-
VILLA 139	2	95.00	28.00	20.00	108.90	11.40	0.00	-
VILLA 140	2	95.00	28.00	20.00	119.40	13.70	0.00	-
VILLA 141	2	95.00	28.00	20.00	110.80	11.10	0.00	-
VILLA 142	2	95.00	28.00	20.00	120.30	13.20	0.00	-
VILLA 143	2	95.00	28.00	20.00	110.80	11.10	0.00	-
VILLA 144	2	95.00	28.00	20.00	120.30	13.20	0.00	-
VILLA 145	2	95.00	28.00	20.00	110.80	11.10	0.00	-
VILLA 146	2	96.00	27.00	19.00	133.60	19.60	0.00	-
VILLA 147	2	100.00	27.00	19.00	127.70	18.10	0.00	-
VILLA 148	2	100.00	27.00	19.00	117.10	16.20	0.00	-
VILLA 149	2	100.00	27.00	19.00	127.50	17.90	0.00	-
VILLA 150	2	100.00	27.00	19.00	114.80	16.80	0.00	-
VILLA 151	2	100.00	27.00	19.00	125.40	19.20	0.00	-
VILLA 152	2	100.00	27.00	19.00	119.90	15.20	0.00	-
VILLA 153	2	100.00	27.00	19.00	129.20	17.30	0.00	-
VILLA 154	2	100.00	27.00	19.00	115.90	16.40	0.00	-
VILLA 155	2	95.00	28.00	20.00	120.30	13.20	0.00	-
VILLA 156	2	95.00	28.00	20.00	110.80	11.10	0.00	-
VILLA 157	2	95.00	28.00	20.00	120.30	13.20	0.00	-
VILLA 158	2	95.00	28.00	20.00	104.90	12.10	0.00	-
VILLA 159	2	100.00	27.00	19.00	107.50	19.90	0.00	-
VILLA 160	2	100.00	27.00	19.00	137.00	18.60	0.00	-
VILLA 161	2	100.00	27.00	19.00	109.70	19.60	0.00	-
VILLA 162	2	100.00	27.00	19.00	137.00	18.60	0.00	-
VILLA 163	2	100.00	27.00	19.00	109.70	19.60	0.00	-
VILLA 164	2	100.00	27.00	19.00	137.00	18.60	0.00	-
VILLA 165	2	100.00	27.00	19.00	109.70	19.60	0.00	-
VILLA 166	2	100.00	27.00	19.00	137.00	18.60	0.00	-
VILLA 167	2	100.00	27.00	19.00	109.70	19.60	0.00	-
VILLA 168	2	100.00	27.00	19.00	134.80	19.20	0.00	-

NatHERS REQUIREMENTS

ASSESSOR:  
Name: Ian Fry                      Company: Frys Energywise  
Certificate: 0006114280    Issued: 15 Jun 2021  
Accreditation Number: DMN/12/1441

AREA CALCULATIONS:  
See table for Conditioned & Unconditioned Floor Area, as well as Heating & Cooling Loads for each dwelling.

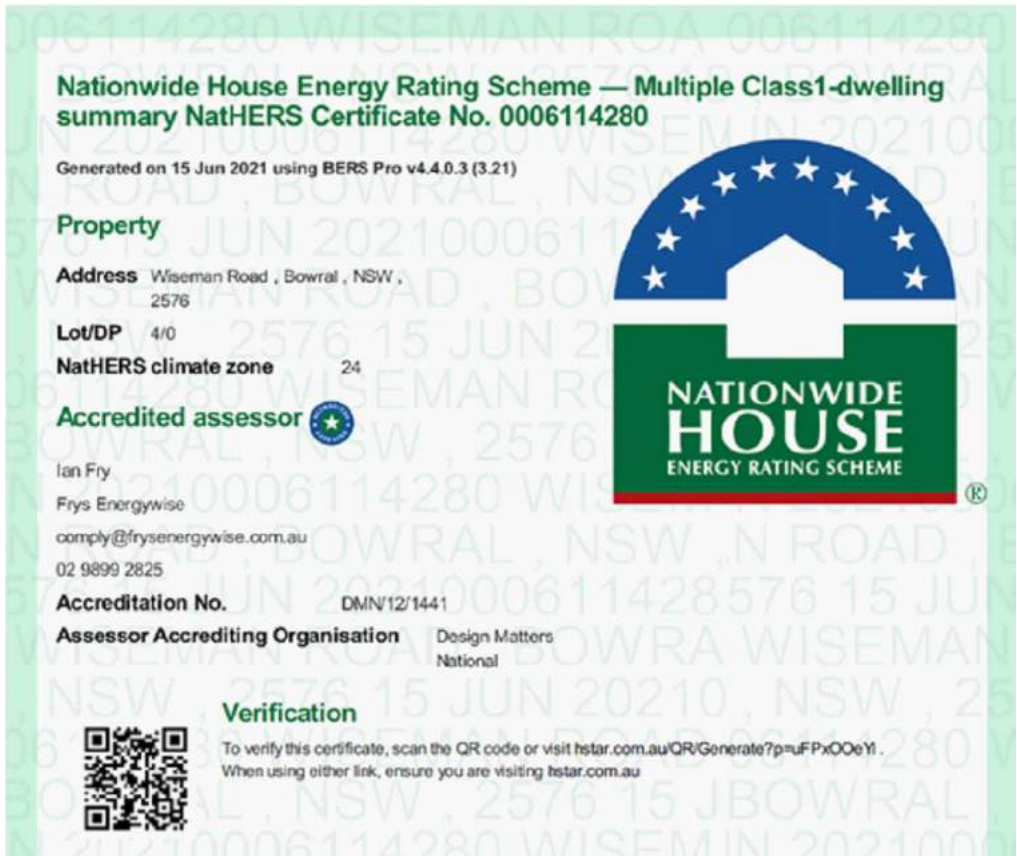
PREDICTED ANNUAL ENERGY LOADS: (CLIMATE ZONE 24)

- WINDOWS & DOORS:
- Varies - see Window & Door Schedules.
  - Weatherseals to ALL External Doors (including internal access door to garage)

- LIGHTING:
- Recessed downlights have been included in the NatHERS rating. (to be sealed LED downlights).

- WINDOW COVERINGS:
- To clients specification.

- FIXED SHADING:
- Fix shading as per architectural drawings & window schedules if required.



SECTION J REPORT REQUIREMENTS  
Community Building D

- Additional Wall Insulation to Double Brick Walls - 50mm Supafil CarbonPlus Insulation or similar.
- Additional Roof & Ceiling Insulation to Tiled Roof - General Sarking & R2.5 Ceiling Insulation.
- Proposed Glazing U-Values & SHGC can be found on Sheet CB External Window & Door Schedule.
- No Additional Insulation required for concrete slab on ground.

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

- ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, LOCAL COUNCIL BUILDING APPROVAL, RELEVANT GOVERNING STATUTORY AUTHORITIES & MINIMUM STANDARDS OF CONSTRUCTION.
- FIGURED DIMENSIONS IN PREFERENCE TO ANY SCALE.
- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
- THE BUILDER IS TO INCLUDE & ARRANGE SEPARATE ENGINEERS DETAILS 4IOR INSPECTIONS AS REQUIRED.
- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

BASIX CERTIFICATE REQUIREMENTS

Multi Dwelling  
Certificate Number: 1216770M\_03

1. Commitments for multi-dwelling houses.  
(a) Dwellings  
(i) Water

- All dwellings must install that new showerheads have minimum rating of 3 star (>6.0 but <= 7.5 L/min) in all showers in the development.
- All dwelling must install new toilets with a flushing system with a minimum rating of 4 star in each toilets in the development.
- All dwellings must install new kitchen taps with a minimum rating of 4 star in the kitchens of the development.
- All dwellings must install new bathroom taps with a minimum rating of 5 star in the bathrooms of the development.
- No Hot Water (HW) recirculation or diversion system is proposed for the proposed development.
- No Pool or Spa is proposed for the proposed development.

- All dwellings must install one (1) individual water tank of a minimum size 750Ls. Which is to collect run-off from at least 50.0 square metres of roof area. This Alternative Water source is to have 'Toilet connection (s)'.

(ii) Energy

- All dwellings must install the following in the development.

- Hot Water
- All dwellings must install the following hot water system in the development, or a system with a higher energy rating: Gas Instantaneous with a performance of 6 stars.

- Ventilation System
- All dwellings must install the following exhaust systems in the development:
  - Each Bathroom: to have an individual fan, ducted to facade or roof; Operation control: manual switch on/off.
  - Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off.
  - Laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off.

- Cooling System
- All dwelling must install the following cooling system in living areas: 1-phase airconditioning; Energy rating: 6 Stars (cold zone).
  - All dwelling must install the following cooling system in bedroom areas: ceiling fans; Energy rating: N/A. + 1-phase airconditioning; Energy rating: 6 Stars (cold zone).

- Heating System
- All dwelling must install the following heating system in living areas: 1-phase airconditioning; Energy rating: 6 Stars (cold zone).
  - All dwelling must install the following cooling system in bedroom areas: 1-phase airconditioning; Energy rating: 6 Stars (cold zone).

- Artificial lighting
- All dwelling must ensure that the "Primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.
  - 2 of the bedrooms / study; dedicated
  - 2 of the living / dining rooms; dedicated
  - Kitchen; dedicated
  - All bathrooms / toilets; dedicated
  - Laundry; dedicated
  - All hallways; dedicated

- Natural lighting
- All dwelling must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
  - All dwelling must install a window and/or skylight in 2 bathroom(s) / toilet(s) in the development for natural lighting.

- Appliances & Other Efficiency measures
- All dwelling must install an electric cooktop & electric oven in the kitchen of the dwelling.
  - All dwelling must have "well ventilated" refrigerator space as defined in the BASIX definitions for this development.
  - All dwelling must install an indoor or sheltered indoor clothes drying line as part of the development.
  - All dwelling must install a private outdoor or unsheltered outdoor clothes drying line as part of the development.

(iii) Thermal Comfort

- See table on left hand side of this sheet, outlining the Thermal Loads as per NatHERS Certificate generated for the development.
- The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development or application for a complying development certificate which were used to calculate those specifications.
- Where there is in-slab heating or cooling system, the applicant must install insulation with an R - Value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended slab.

Window Requirements

- See specific NatHERS Certificates & Window Schedules for Glazing requirements for each Building Type Villas.

3. Commitments for Common Areas & Central Systems / facilities for the development (non-building specific).  
(a) Common Areas & Central Systems / facilities  
(i) Water

- No Common facility - thus no new showerheads - N/A.

- All common areas must install new toilets with a flushing system with a minimum rating of 4 star in each toilets in the development.
- All common areas must install new taps with a minimum rating of 5 star in the development.
- No common laundry facility for the proposed development.



EVOLVING DESIGN & DRAFTING.  
NO: SHOP 6 - 459 GREAT WESTERN HIGHWAY,  
FAULCONBRIDGE. NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL

AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL

STAGE 5-11 WORKS

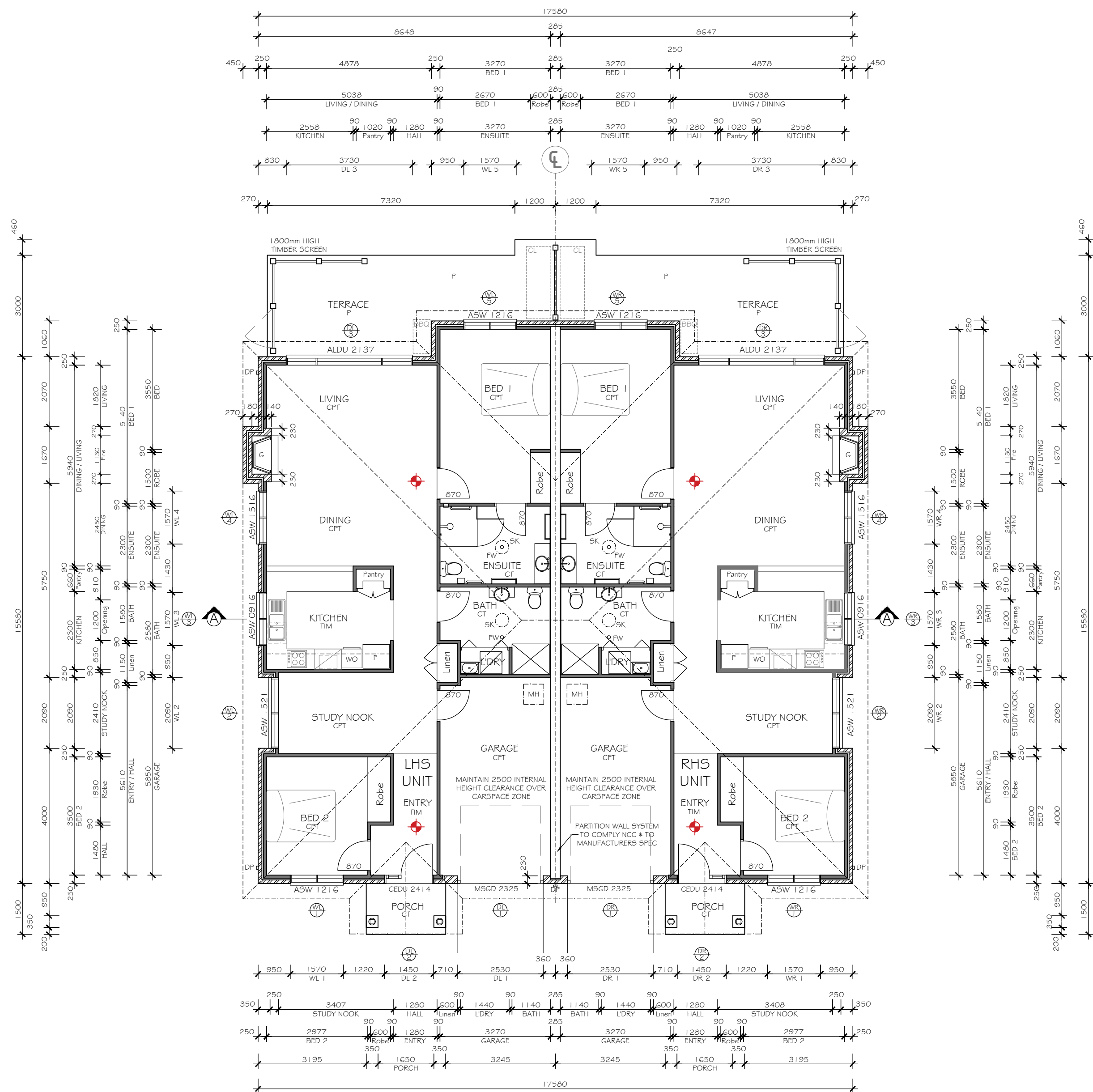
DRAWING: PROJECT DETAILS

SCALE: NIL @ A2

DATE: 04.05.22

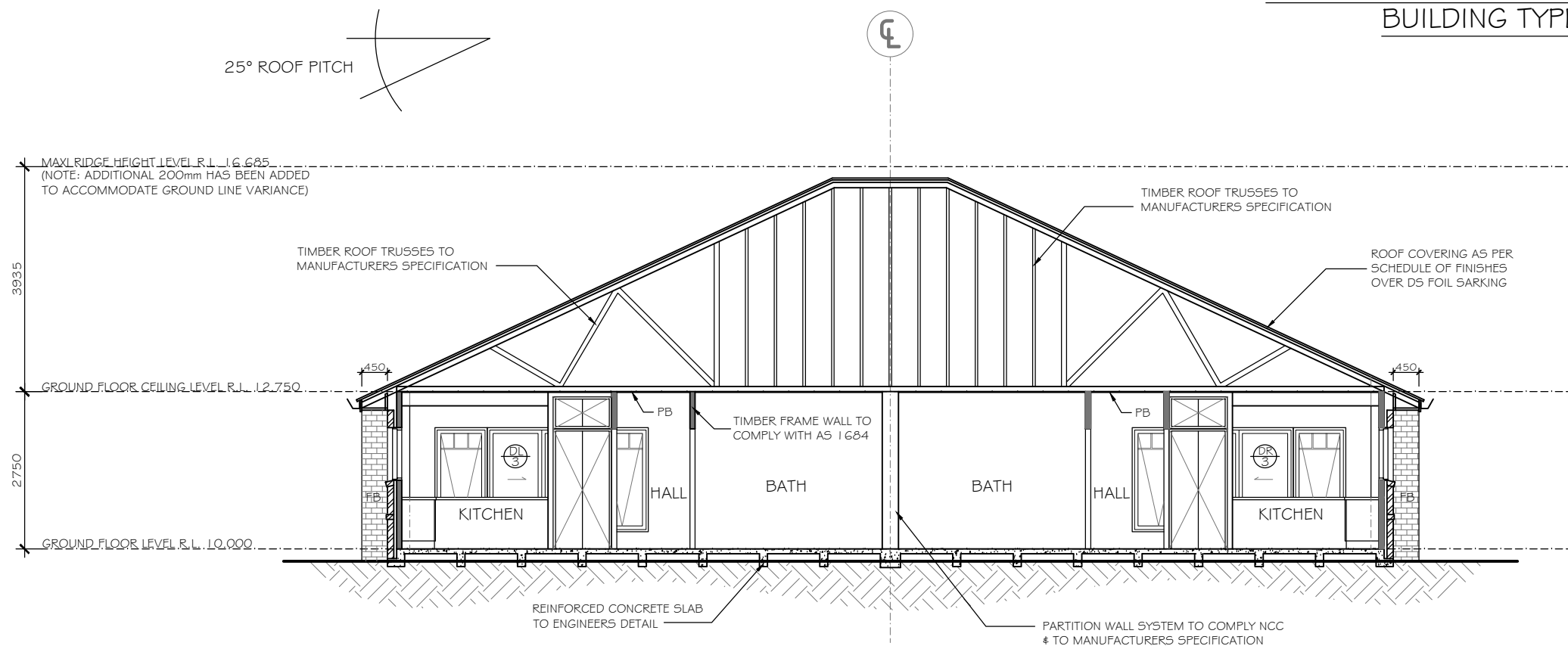
JOB NO.	115/20
SHEET NO	AMENDMENT
PD	DA/10



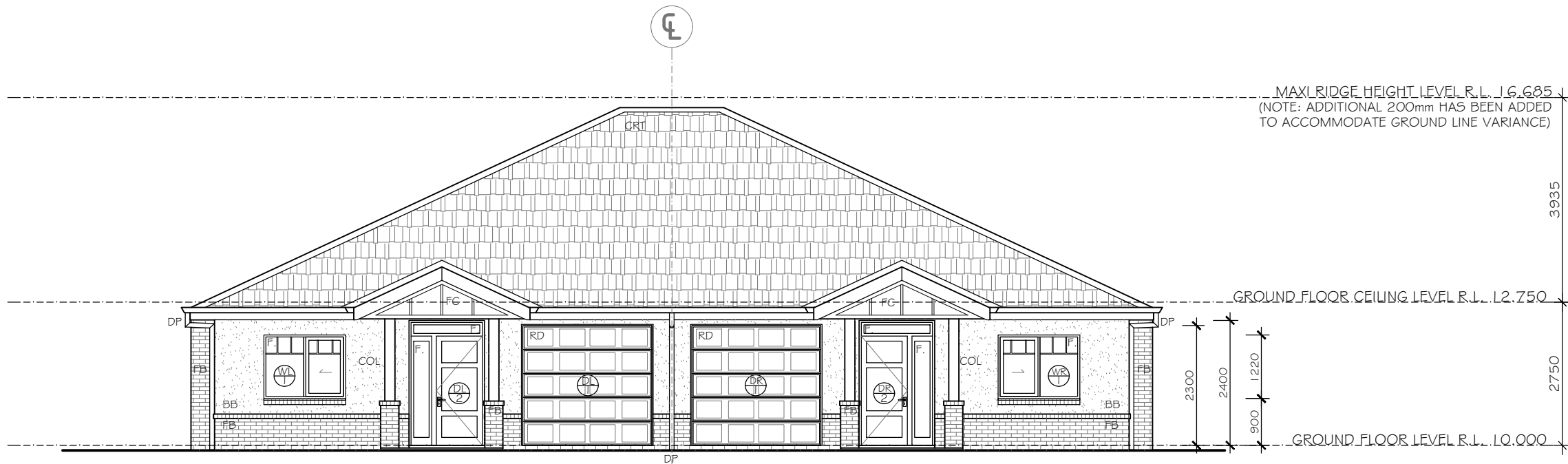


TYPE A UNIT - GROUND FLOOR PLAN SCALE 1:100

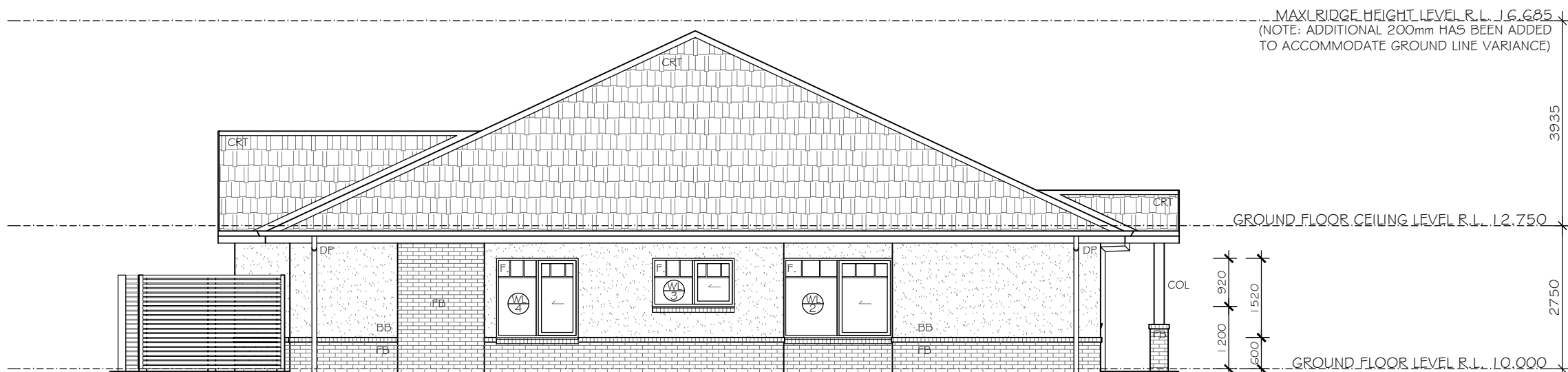
TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA



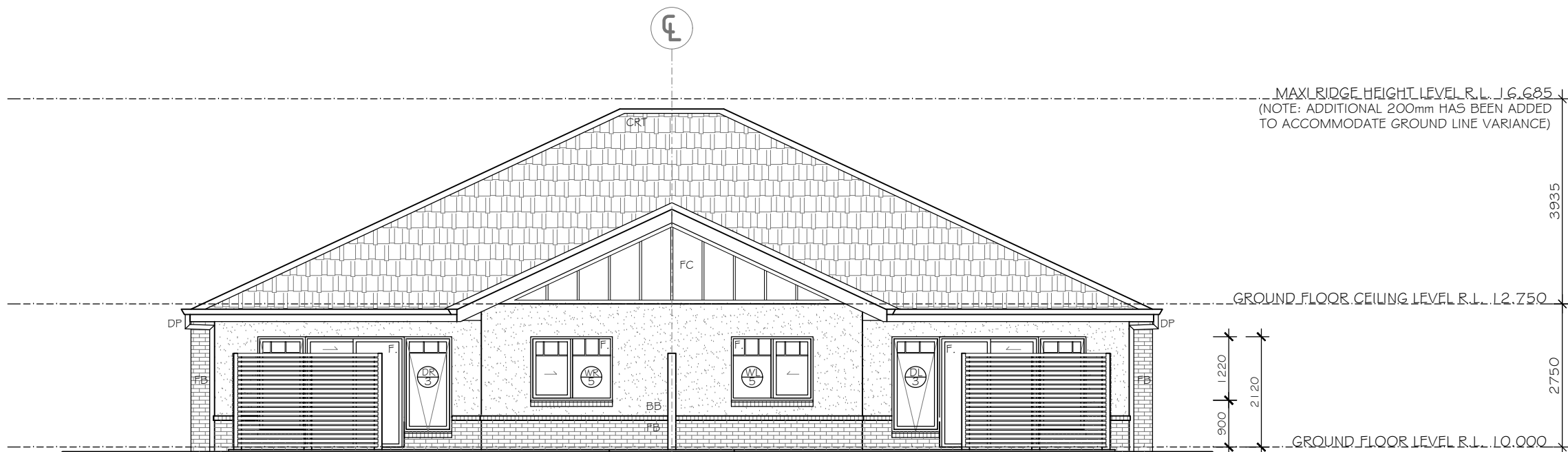
TYPE A UNIT - SECTION A-A SCALE 1:100



FRONT ELEVATION SCALE 1:100



LEFT SIDE ELEVATION SCALE 1:100



REAR ELEVATION SCALE 1:100



RIGHT SIDE ELEVATION SCALE 1:100

#### TYPE A CALCULATIONS

PROPOSED HARDSTAND	
• TYPE A BUILDING FOOTPRINT	- 281.70 M2
• ENTRY PORCHES	- 7.06 M2
• REAR TERRACE AREA	- 44.46 M2

PROPOSED GROSS FLOOR AREA	
• GROUND FLOOR AREA (LEFT UNIT)	- 111.70 M2
(inside surface of external walls)	
(internal surface of partition wall of unit)	
• GARAGE FLOOR AREA (LEFT UNIT)	- (19.05 M2)
(inside surface of external walls)	
(internal surface of partition wall of unit)	
(non-habitable area, not included in floor space)	
• GROUND FLOOR AREA (RIGHT UNIT)	- 111.70 M2
(inside surface of external walls)	
(internal surface of partition wall of unit)	
• GARAGE FLOOR AREA (RIGHT UNIT)	- (19.05 M2)
(inside surface of external walls)	
(internal surface of partition wall of unit)	
(non-habitable area, not included in floor space)	

TYPE A BUILDING - VILLA NUMBER	GROUND FLOOR R.L.	EXTERNAL FINISHES
VILLA 88 & 89	R.L. 669.760	SCHEME 3
VILLA 98 & 99	R.L. 669.400	SCHEME 1
VILLA 100 & 101	R.L. 670.790	SCHEME 3
VILLA 102 & 103	R.L. 671.250	SCHEME 2
VILLA 104 & 105	R.L. 671.570	SCHEME 3
VILLA 120 & 121	R.L. 670.120	SCHEME 1
VILLA 122 & 123	R.L. 670.350	SCHEME 3
VILLA 129 & 130	R.L. 670.680	SCHEME 2
VILLA 131 & 132	R.L. 671.170	SCHEME 1
VILLA 133 & 134	R.L. 671.780	SCHEME 3
VILLA 135 & 136	R.L. 672.050	SCHEME 2
VILLA 147 & 148	R.L. 672.050	SCHEME 1
VILLA 149 & 150	R.L. 671.870	SCHEME 2
VILLA 151 & 152	R.L. 671.430	SCHEME 1
VILLA 153 & 154	R.L. 670.890	SCHEME 3
VILLA 159 & 160	R.L. 669.610	SCHEME 3
VILLA 161 & 162	R.L. 669.900	SCHEME 2
VILLA 163 & 164	R.L. 670.220	SCHEME 1
VILLA 165 & 166	R.L. 670.510	SCHEME 3
VILLA 167 & 168	R.L. 670.970	SCHEME 1

#### LEGEND:

CPT	CARPET
CT	NON SLIP CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FINISH
CL	CLOTHES LINE
DP	DOWNPIPE
COL	195mm FC COLUMN
V	VINYL FLOOR COVERING
P	PAVING UNIT
TM	TIMBER FLOOR
R	WARDROBE
L	PREFABRICATED LINEN CUPBOARD
W	WASHING MACHINE - BY OTHERS
WO	WALL OVEN UNIT
P	PANTRY UNIT
KS	KITCHEN SINK
DW	DISH WASHER
CP	COOK TOP
G	GAS FIREPLACE UNIT
F	REFRIGERATOR - BY OTHERS
HWU	GAS HOT WATER UNIT
RD	GARAGE PANEL LIFT DOOR
CBR	COLORBOND ROOF SHEETING
CKT	CONCRETE ROOF TILES
BB	BAGGED PAINTED BRICKWORK
FC	PAINTED FIBRE CEMENT LINING
PB	PAINTED PLASTERBOARD LINING
FB	FACE BRICKWORK
SK	SKYLIGHT
BJV	BRICKWORK VERTICAL JOINTS
TI	TACTILE INDICATORS
GF	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
SA	SMOKE ALARM

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	11.08.21
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99, RAINWATER TANKS, SECTION J, ADJUST BASIN & NUMBERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NUMBERS & BASIN DETAILS + BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS AS PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS AS PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

- ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, LOCAL COUNCIL BUILDING APPROVAL, RELEVANT GOVERNING STATUTORY AUTHORITIES & MINIMUM STANDARDS OF CONSTRUCTION.
- FIGURED DIMENSIONS IN PREFERENCE TO ANY SCALE.
- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
- THE BUILDER IS TO INCLUDE & ARRANGE SEPARATE ENGINEERS DETAILS WORK INSPECTIONS AS REQUIRED.
- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

**EVOLVING DESIGN & DRAFTING**


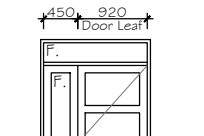
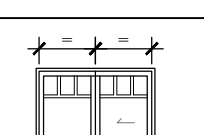
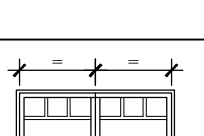
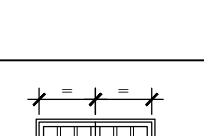
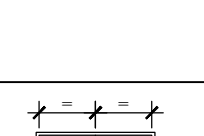
NO: SHOP G - 459 GREAT WESTERN HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE A BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G & B WISEMAN ROAD, BOWRAL, 2576

SCALE: 1:100 @ A1  
DATE: 04.05.22

SHEET NO. 11/5/20  
DRAWING NO. DA1/0




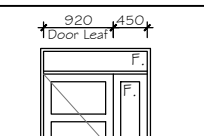
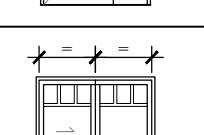
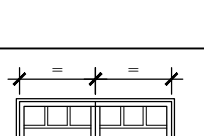
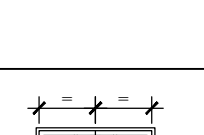
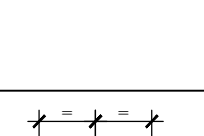
EXTERNAL WINDOW & DOOR SCHEDULE - TYPE A - LEFT HAND SIDE UNIT												SCALE 1:100
STANDARD NOTES:			ALUMINIUM WINDOWS & DOORS: <small>[MANUFACTURER T.B.C]</small>			TIMBER WINDOWS & DOORS: <small>[MANUFACTURER T.B.C]</small>			BASIX CERTIFICATE NUMBER: I 216770M_03			
• WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM OUTSIDE			• STANDARD ALUMINIUM WINDOWS & DOORS FRAME TO BE SELECTED FROM MANUFACTURERS STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)			• STANDARD TIMBER WINDOWS & DOORS FRAME TO BE SELECTED FROM MANUFACTURERS STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)			NathERS CERTIFICATE NUMBER: 0006114280			
DL1  (GARAGE DOOR BY OTHERS)	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ALDU 2137 BRICK OPENING H: 2120   W: 3730	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 850mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1
	MSGD 2325	FRONT ELEVATION GARAGE	MILD STEEL	N / A	N / A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
DL2 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1216 BRICK OPENING H: 1220   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	NO SHADING DEVICE PROPOSED
	CEDU 2414	FRONT ELEVATION ENTRY	W.R.C	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 1.60m ROOF OVER-HANG OPERABLE DOOR LEAF WITH 800mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1						
			COLOUR			REVEAL SIZE to suit wall construction						
WL1 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1521 BRICK OPENING H: 1520   W: 2090	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 0.80m ROOF OVER-HANG
	ASW 1216	FRONT ELEVATION BED 2	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
WL2 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 0916 BRICK OPENING H: 920   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG
	ASW 1521	LEFT ELEVATION STUDY NOOK	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 0.80m ROOF OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
WL3 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1516 BRICK OPENING H: 1520   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG
	ASW 0916	LEFT ELEVATION KITCHEN	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
WL4 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1516 BRICK OPENING H: 1520   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG
	ASW 1516	LEFT ELEVATION DINING	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						



3D VIEW OF PROPOSED TYPE A BUILDING (FRONT)



3D VIEW OF PROPOSED TYPE A BUILDING (REAR)

EXTERNAL WINDOW & DOOR SCHEDULE - TYPE A - RIGHT HAND SIDE UNIT												SCALE 1:100
STANDARD NOTES:			ALUMINIUM WINDOWS & DOORS: <small>[MANUFACTURER T.B.C]</small>			TIMBER WINDOWS & DOORS: <small>[MANUFACTURER T.B.C]</small>			BASIX CERTIFICATE NUMBER: I 216770M_03			
• WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM OUTSIDE			• STANDARD ALUMINIUM WINDOWS & DOORS FRAME TO BE SELECTED FROM MANUFACTURERS STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)			• STANDARD TIMBER WINDOWS & DOORS FRAME TO BE SELECTED FROM MANUFACTURERS STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)			NathERS CERTIFICATE NUMBER: 0006114280			
DR1  (GARAGE DOOR BY OTHERS)	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ALDU 2137 BRICK OPENING H: 2120   W: 3730	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 850mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1
	MSGD 2325	FRONT ELEVATION GARAGE	MILD STEEL	N / A	N / A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
DR2 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1216 BRICK OPENING H: 1220   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	NO SHADING DEVICE PROPOSED
	CEDU 2414	FRONT ELEVATION ENTRY	W.R.C	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 1.60m ROOF OVER-HANG OPERABLE DOOR LEAF WITH 800mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1						
			COLOUR			REVEAL SIZE to suit wall construction						
WR1 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1521 BRICK OPENING H: 1520   W: 2090	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 0.80m ROOF OVER-HANG
	ASW 1216	FRONT ELEVATION BED 2	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
WR2 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 0916 BRICK OPENING H: 920   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG
	ASW 1521	RIGHT ELEVATION STUDY NOOK	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 0.80m ROOF OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
WR3 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1516 BRICK OPENING H: 1520   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG
	ASW 0916	RIGHT ELEVATION KITCHEN	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						
WR4 	DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES		ASW 1516 BRICK OPENING H: 1520   W: 1570	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG
	ASW 1516	RIGHT ELEVATION DINING	ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG						
			COLOUR			REVEAL SIZE to suit wall construction						

- See PROJECT DETAILS SHEET for BASIX & NathERS Certificate requirements.

- Additional NathERS Certificate Requirements:
  - External Wall: Brick Veneer Wall to Habitable Areas - Bulk Insulation R2.
  - External Wall: Single Skin Brick Wall to Garage - No Bulk Insulation.

- Internal Wall: Shaft liner party wall with plaster - Bulk Insulation R2, both sides of shaft liner.
- Internal Wall: Cavity wall, direct fix plasterboard, single gap - Bulk Insulation R2, No Air Gap. (to Garage Walls)
- Internal Wall: Cavity wall, direct fix plasterboard, single gap - No Bulk Insulation. (to remaining internal walls)

- Ceiling: Habitable Areas with Plasterboard Lining - Bulk Insulation R4.
- Ceiling: Non-Habitable Area (Garage) with Plasterboard Lining - No Bulk Insulation.
- Ceiling Penetrations: Exhaust Fans to be sealed.

LEGEND:

CPT	CARPET
CT	NON SLIP CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FINISH
CL	CLOTHES LINE
DP	DOWNPIPE
COL	195mm FC COLUMN
V	VINYL FLOOR COVERING
P	PAVING UNIT
R	WARDROBE
L	PREFABRICATED LINEN CUPBOARD
W	WASHING MACHINE - BY OTHERS
WO	WALL OVEN UNIT
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RD	GARAGE PANEL LIFT DOOR
CBR	COLORBOND ROOF SHEETING
CRK	CONCRETE ROOF TILES
BB	BAGGED PAINTED BRICKWORK
FC	PAINTED FIBRE CEMENT LINING
PB	PAINTED PLASTERBOARD LINING
FB	FACE BRICKWORK
SK	SKYLIGHT
BJV	BRICKWORK VERTICAL JOINTS
TI	TACTILE INDICATORS
GF	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
+	SMOKE ALARM

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	I
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99, RAINWATER TANKS, SECTION J, ADJUST BASIX & NATHERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NATHERS & BASIX DETAILS + BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS AS PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS AS PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

- ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, LOCAL COUNCIL BUILDING APPROVAL, RELEVANT GOVERNING STATUTORY AUTHORITIES & MINIMUM STANDARDS OF CONSTRUCTION.
- FIGURED DIMENSIONS IN PREFERENCE TO ANY SCALE.
- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
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- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

EVOLVING DESIGN  
& DRAFTING

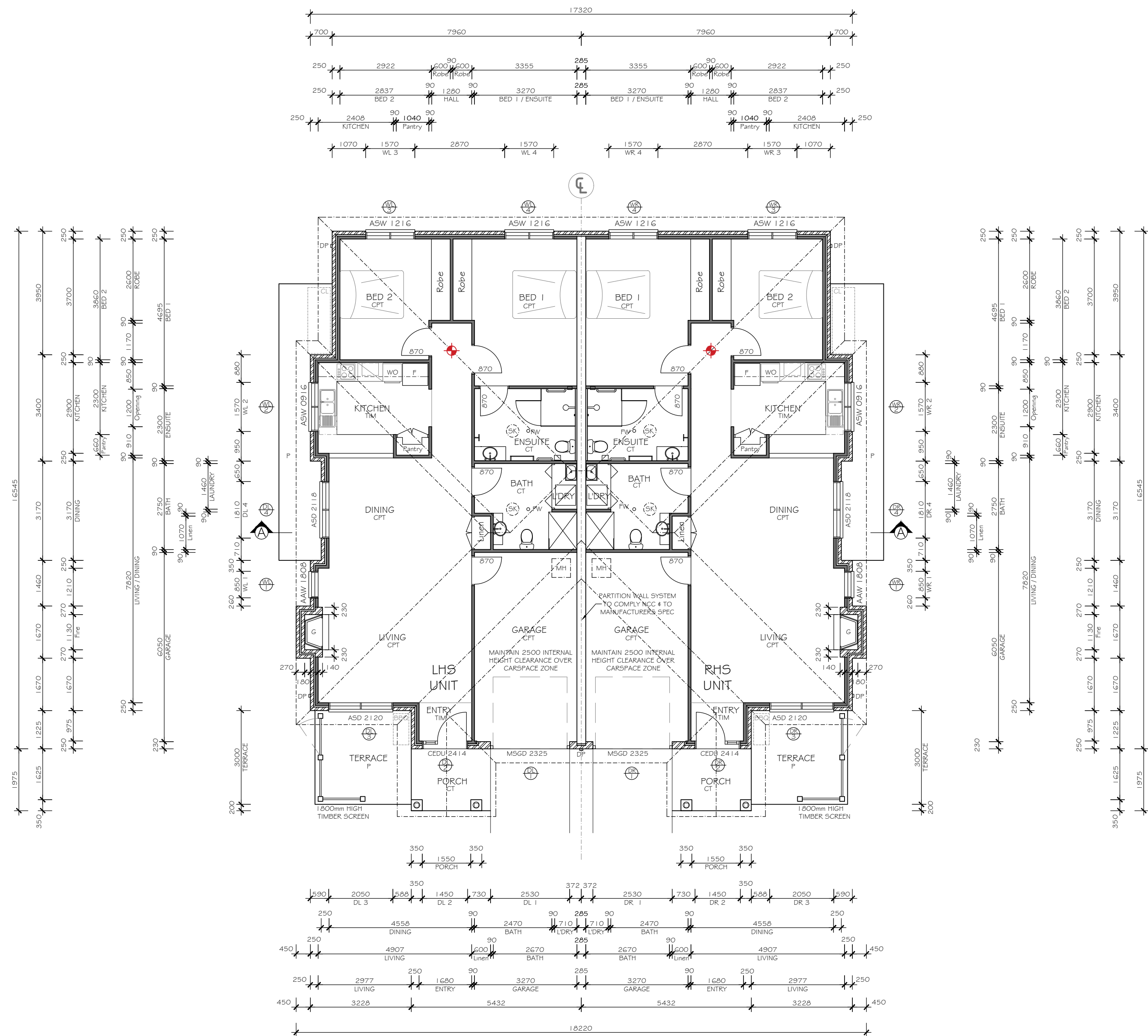
NO: SHOP G - 459 GREAT WESTERN  
HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE A BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G & B WISEMAN ROAD,  
BOWRAL, 2576

SCALE: 1:100 @ A1  
DATE: 04.05.22

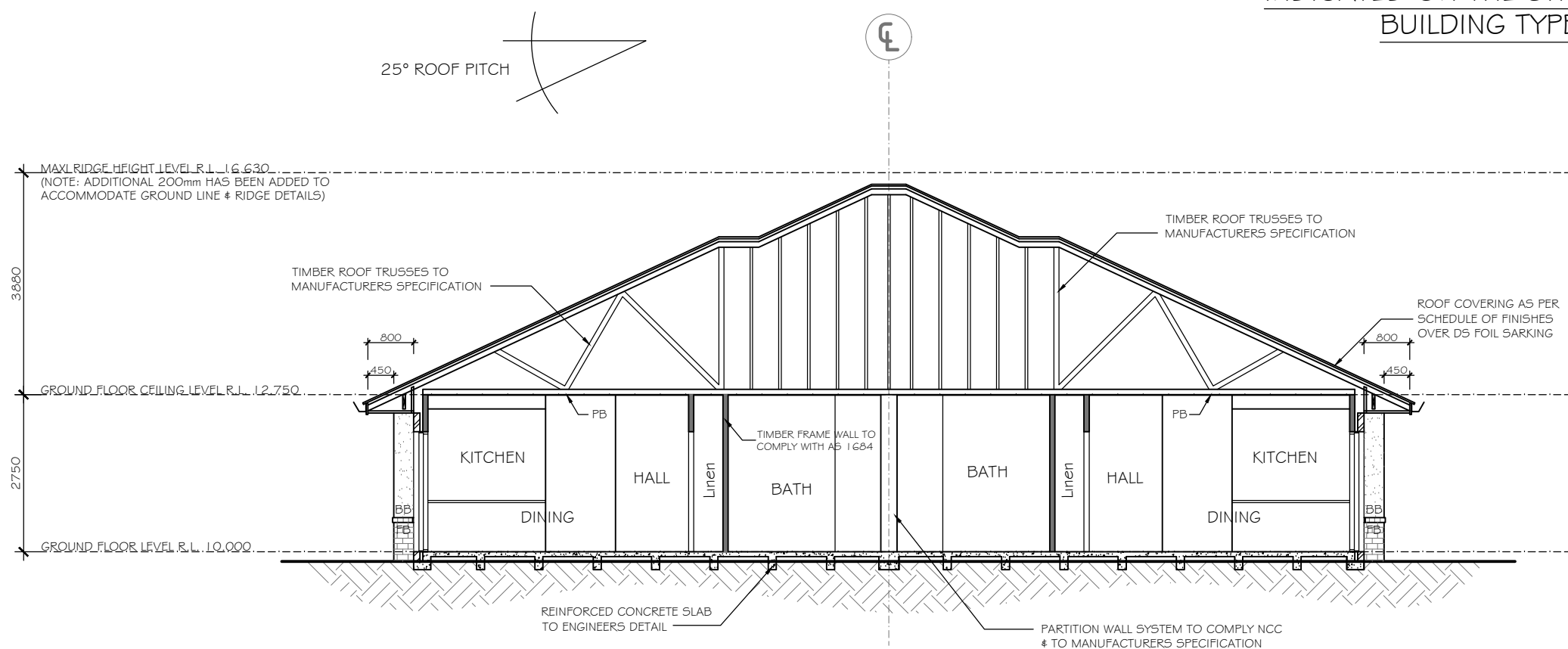
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SHEET NO: A/2  
AMENDMENT: DA1/0



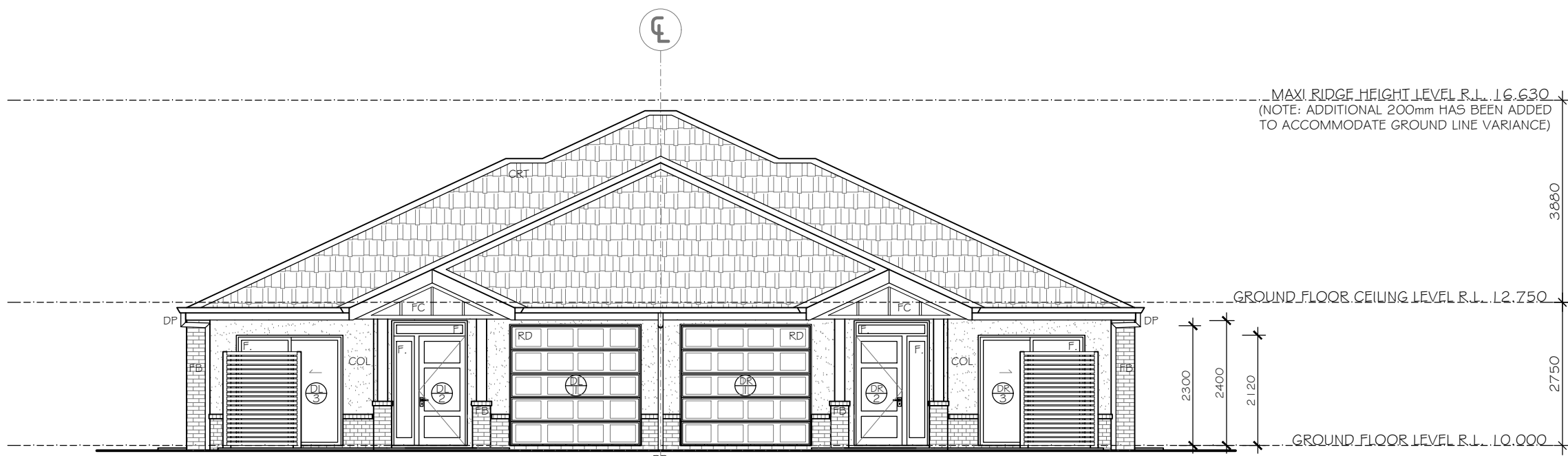


TYPE B UNIT - GROUND FLOOR PLAN SCALE 1:100

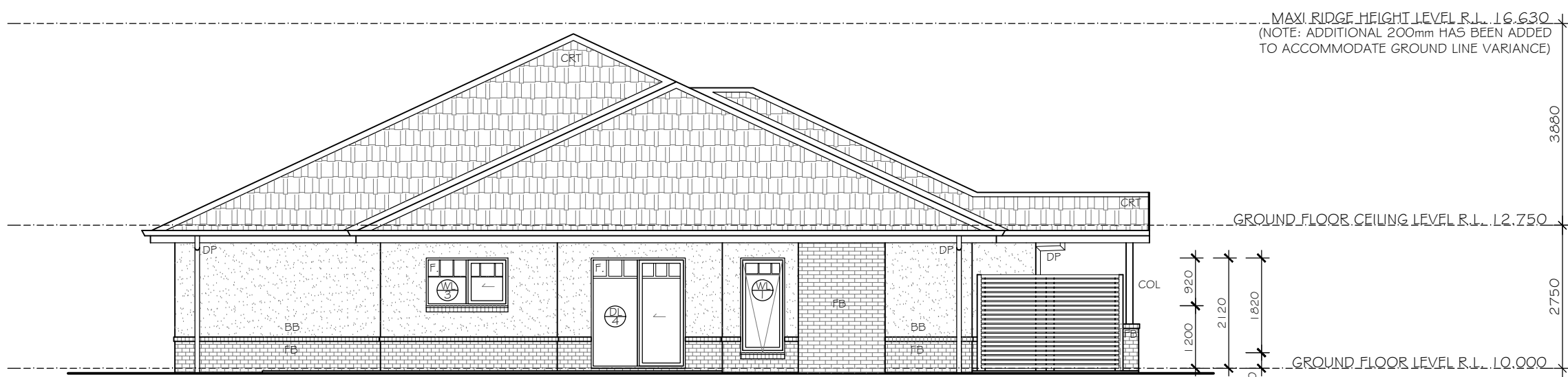
TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA



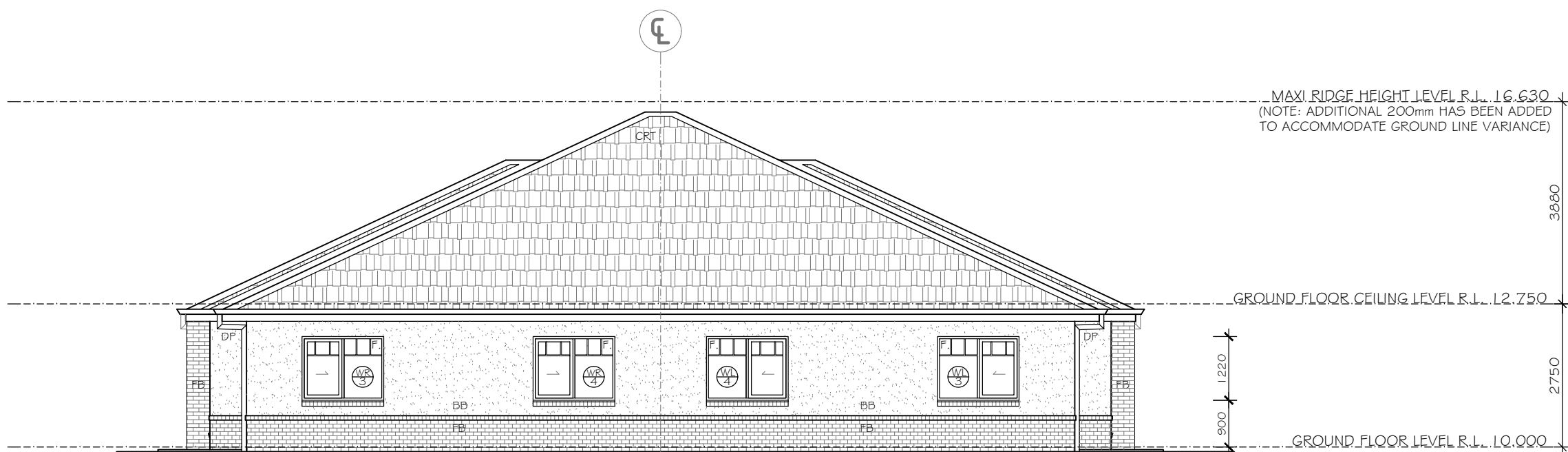
TYPE B UNIT - SECTION A-A SCALE 1:100



FRONT ELEVATION SCALE 1:100



LEFT SIDE ELEVATION SCALE 1:100



REAR ELEVATION SCALE 1:100



RIGHT SIDE ELEVATION SCALE 1:100

#### TYPE B CALCULATIONS

PROPOSED HARDSTAND	
• TYPE B BUILDING FOOTPRINT	- 272.41 M2
• ENTRY PORCHES	- 10.00 M2
• FRONT TERRACE AREAS	- 18.46 M2
• CLOTHES LINE AREAS	- 23.08 M2

PROPOSED GROSS FLOOR AREA	
• GROUND FLOOR AREA (LEFT UNIT)	- 105.46 M2
(inside surface of external walls)	
(internal surface of partition wall of unit)	
• GARAGE FLOOR AREA (LEFT UNIT)	- (19.78 M2)
(inside surface of external walls)	
(internal surface of partition wall of unit)	
(non-habitable area, not included in floor space)	
• GROUND FLOOR AREA (RIGHT UNIT)	- 105.46 M2
(inside surface of external walls)	
(internal surface of partition wall of unit)	
• GARAGE FLOOR AREA (RIGHT UNIT)	- (19.378 M2)
(inside surface of external walls)	
(internal surface of partition wall of unit)	
(non-habitable area, not included in floor space)	

TYPE B BUILDING - VILLA NUMBER	GROUND FLOOR R.L.	EXTERNAL FINISHES
VILLA 91 & 92	R.L. 669.700	SCHEME 2
VILLA 93 & 94	R.L. 669.280	SCHEME 3
VILLA 95 & 96	R.L. 668.890	SCHEME 1
VILLA 106 & 107	R.L. 671.500	SCHEME 1
VILLA 108 & 109	R.L. 671.110	SCHEME 3
VILLA 110 & 111	R.L. 670.380	SCHEME 2
VILLA 112 & 113	R.L. 669.630	SCHEME 3
VILLA 114 & 115	R.L. 669.280	SCHEME 2
VILLA 116 & 117	R.L. 669.320	SCHEME 1
VILLA 124 & 125	R.L. 669.800	SCHEME 1
VILLA 126 & 127	R.L. 670.130	SCHEME 2
VILLA 138 & 139	R.L. 672.050	SCHEME 1
VILLA 140 & 141	R.L. 672.050	SCHEME 3
VILLA 142 & 143	R.L. 672.050	SCHEME 2
VILLA 144 & 145	R.L. 671.950	SCHEME 3
VILLA 155 & 156	R.L. 671.130	SCHEME 3
VILLA 157 & 158	R.L. 670.800	SCHEME 2

#### LEGEND:

CPT	CARPET
CT	NON SLIP CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FINISH
CL	CLOTHES LINE
DL	DOWNPIPE
COL	195mm FC COLUMN
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P	PAVING UNIT
TM	TIMBER FLOOR
R	WARDROBE
L	PREFABRICATED LINEN CUPBOARD
W	WASHING MACHINE - BY OTHERS
WO	WALL OVEN UNIT
P	PANTRY UNIT
KS	KITCHEN SINK
DW	DISH WASHER
CP	COOK TOP
G	GAS FIREPLACE UNIT
F	REFRIGERATOR - BY OTHERS
HWU	GAS HOT WATER UNIT
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CKT	CONCRETE ROOF TILES
BB	BAGGED PAINTED BRICKWORK
FC	PAINTED FIBRE CEMENT LINING
PB	PAINTED PLASTERBOARD LINING
FB	FACE BRICKWORK
SK	SKYLIGHT
BVJ	BRICKWORK VERTICAL JOINTS
TI	TACTILE INDICATORS
GF	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
+	SMOKE ALARM

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	DATE
DA#8	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	11.08.21
DA#7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21
DA#6	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21
DA#5	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21
DA#4	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21
DA#3	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21
DA#2	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21
DA#1	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99	F.F.	20.07.21

- ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, LOCAL COUNCIL BUILDING APPROVAL, RELEVANT GOVERNING STATUTORY AUTHORITIES & MINIMUM STANDARDS OF CONSTRUCTION.
- FIGURED DIMENSIONS IN PREFERENCE TO ANY SCALE.
- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
- THE BUILDER IS TO INCLUDE & ARRANGE SEPARATE ENGINEERS DETAILS WORK INSPECTIONS AS REQUIRED.
- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

## EVOLVING DESIGN & DRAFTING

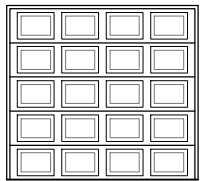
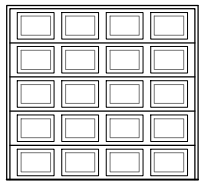
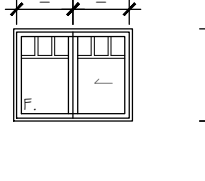
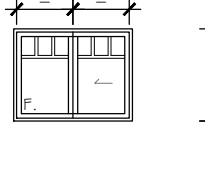
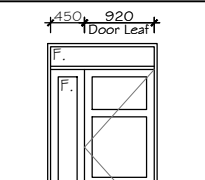
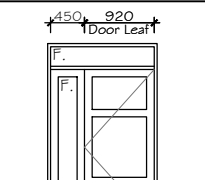
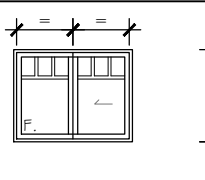
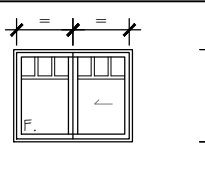
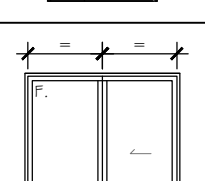
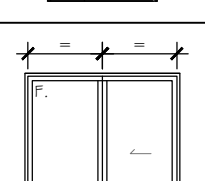
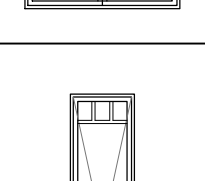
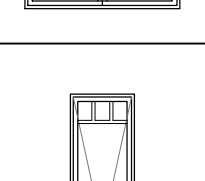
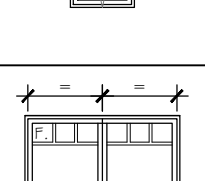
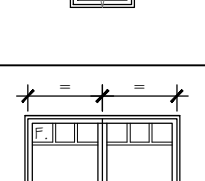
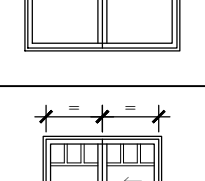
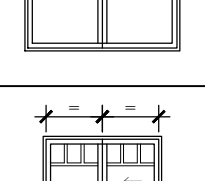
NO: SHOP G - 459 GREAT WESTERN  
HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE B BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G # 8 WISEMAN ROAD,  
BOWRAL, 2576

SCALE: 1:100 @ A1  
DATE: 04.05.22

NO: 115/20  
SHEET NO: B/1  
AMENDMENT: DA/10



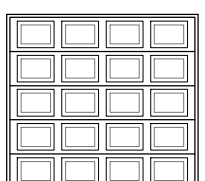
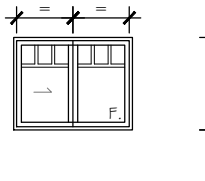
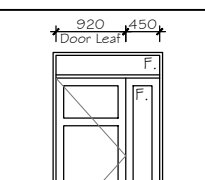
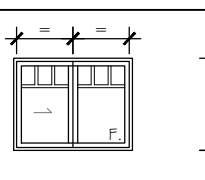
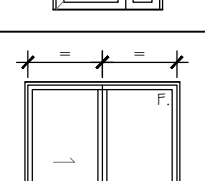
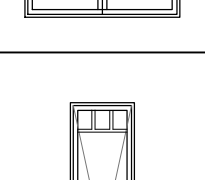
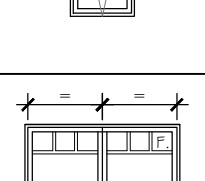
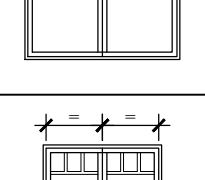
EXTERNAL WINDOW & DOOR SCHEDULE - TYPE B - LEFT HAND SIDE UNIT															SCALE 1:100				
<b>STANDARD NOTES:</b> <ul style="list-style-type: none"><li>WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM OUTSIDE</li><li>ALL WINDOWS TO COME WITH "KEYED ALIKE" LOCKS</li></ul>			<b>ALUMINIUM WINDOWS &amp; DOORS:</b> <small>[MANUFACTURER T.B.C]</small> <ul style="list-style-type: none"><li>STANDARD ALUMINIUM WINDOWS &amp; DOORS FRAME TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)</li></ul>			<b>TIMBER WINDOWS &amp; DOORS:</b> <small>[MANUFACTURER T.B.C]</small> <ul style="list-style-type: none"><li>STANDARD TIMBER WINDOWS &amp; DOORS FRAME TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)</li></ul>			<b>BASIX CERTIFICATE NUMBER:</b> I 216770M_03 <b>NATHERS CERTIFICATE NUMBER:</b> 0006 I 14280										
		DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES				DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES			
DL1  (GARAGE DOOR BY OTHERS)	 2300 2530		MSGD 2325	BRICK OPENING H- 2300   W- 2530	MILD STEEL	N / A	N / A	450 EAVE OVER-HANG	WL3  1220 1570	 1220 1570		ASW 1216	BRICK OPENING H- 1220   W- 1570	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements		T.B.A	NO SHADING DEVICE PROPOSED	
			FRONT ELEVATION GARAGE	COLOUR				REAR ELEVATION BED 2				COLOUR							REVEAL SIZE to suit wall construction
			MILD STEEL PANEL LIFT GARAGE DOOR OPEN	SEE SCHEDULE OF FINISHES				ALUMINIUM SLIDING WINDOW FIXED / SLIDE				SEE SCHEDULE OF FINISHES							
DL2  2400 1450	 2400 1450		CEDU 2414	BRICK OPENING H- 2400   W- 1450	W.R.C	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 1.38m ROOF OVER-HANG OPERABLE DOOR LEAF WITH 920mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1	WL4  1220 1570	 1220 1570		ASW 1216	BRICK OPENING H- 1220   W- 1570	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements		T.B.A	NO SHADING DEVICE PROPOSED	
			FRONT ELEVATION ENTRY	COLOUR				REAR ELEVATION BED 1				COLOUR							REVEAL SIZE to suit wall construction
			TIMBER SOLID CORE DOOR WITH FIXED SIDE LIGHT & OVERHEAD WINDOW FIXED / OPEN   FIXED	SEE SCHEDULE OF FINISHES				ALUMINIUM SLIDING WINDOW FIXED / SLIDE				SEE SCHEDULE OF FINISHES							
DL3  2120 2050	 2120 2050		ASD 2120	BRICK OPENING H- 2120   W- 2050	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 950mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1											
			FRONT ELEVATION LIVING	COLOUR															
			ALUMINIUM SLIDING DOOR FIXED / SLIDE	SEE SCHEDULE OF FINISHES															
WL1  1820 850	 1820 850		AAW 1808	BRICK OPENING H- 1820   W- 850	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG											
			LEFT ELEVATION LIVING	COLOUR															
			ALUMINIUM AWNING WINDOW OPEN	SEE SCHEDULE OF FINISHES															
DL4  2120 1810	 2120 1810		ASD 2118	BRICK OPENING H- 2120   W- 1810	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	800 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 950mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1											
			LEFT ELEVATION DINING	COLOUR															
			ALUMINIUM SLIDING DOOR FIXED / SLIDE	SEE SCHEDULE OF FINISHES															
WL2  920 1570	 920 1570		ASW 0916	BRICK OPENING H- 920   W- 1570	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG											
			LEFT ELEVATION KITCHEN	COLOUR															
			ALUMINIUM SLIDING WINDOW FIXED / SLIDE	SEE SCHEDULE OF FINISHES															



3D VIEW OF PROPOSED TYPE B BUILDING (FRONT)



3D VIEW OF PROPOSED TYPE B BUILDING (REAR)

EXTERNAL WINDOW & DOOR SCHEDULE - TYPE B - RIGHT HAND SIDE UNIT																SCALE 1:100				
STANDARD NOTES:			ALUMINIUM WINDOWS & DOORS: <small>[MANUFACTURER T.B.C]</small>					TIMBER WINDOWS & DOORS: <small>[MANUFACTURER T.B.C]</small>					BASIX CERTIFICATE NUMBER:							
• WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM OUTSIDE			• STANDARD ALUMINIUM WINDOWS & DOORS FRAME TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)					• STANDARD TIMBER WINDOWS & DOORS FRAME TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)					I 216770M_03							
• ALL WINDOWS TO COME WITH "KEYED ALIKE" LOCKS													NathERS CERTIFICATE NUMBER:							
													0006 I 14280							
			DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES				DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES			
DR1					MILD STEEL	N / A	N / A	450 EAVE OVER-HANG	WR3			ASW 1216		ALUMINIUM	BRICK OPENING H- 1220   W- 1570	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	NO SHADING DEVICE PROPOSED		
			FRONT ELEVATION GARAGE							COLOUR		REAR ELEVATION BED 2							COLOUR	
			MILD STEEL PANEL LIFT GARAGE DOOR OPEN							SEE SCHEDULE OF FINISHES		ALUMINIUM SLIDING WINDOW SIDE / FIXED							SEE SCHEDULE OF FINISHES	
DR2					W.R.C	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 1.58m ROOF OVER-HANG OPERABLE DOOR LEAF WITH 920mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1	WR4			ASW 1216		ALUMINIUM	BRICK OPENING H- 1220   W- 1570	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	NO SHADING DEVICE PROPOSED		
			FRONT ELEVATION ENTRY							COLOUR		REAR ELEVATION BED 1							COLOUR	
			TIMBER SOLID CORE DOOR WITH FIXED SIDE LIGHT & OVERHEAD WINDOW OPEN / FIXED   FIXED							SEE SCHEDULE OF FINISHES		ALUMINIUM SLIDING WINDOW SIDE / FIXED							SEE SCHEDULE OF FINISHES	
DR3					ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 950mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1												
			FRONT ELEVATION LIVING							COLOUR										
			ALUMINIUM SLIDING DOOR SLIDE / FIXED							SEE SCHEDULE OF FINISHES										
WR1					ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG												
			RIGHT ELEVATION LIVING							COLOUR										
			ALUMINIUM AWNING WINDOW OPEN							SEE SCHEDULE OF FINISHES										
DR4					ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	800 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 950mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1												
			RIGHT ELEVATION DINING							COLOUR										
			ALUMINIUM SLIDING DOOR SLIDE / FIXED							SEE SCHEDULE OF FINISHES										
WR2					ALUMINIUM	See Relevant NathERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG												
			RIGHT ELEVATION KITCHEN							COLOUR										
			ALUMINIUM SLIDING WINDOW SLIDE / FIXED							SEE SCHEDULE OF FINISHES										

- See PROJECT DETAILS SHEET for BASIX & NathERS Certificate requirements.

- Additional NathERS Certificate Requirements:

- External Wall: Brick Veneer Wall to Habitable Areas - Bulk Insulation R2.
- External Wall: Single Skin Brick Wall to Garage - No Bulk Insulation.

- Internal Wall: Shaft liner party wall with plaster - Bulk Insulation R2, both sides of shaft liner.
- Internal Wall: Cavity wall, direct fix plasterboard, single gap - Bulk Insulation R2, No Air Gap. (to Garage Walls)
- Internal Wall: Cavity wall, direct fix plasterboard, single gap - No Bulk Insulation. (to remaining internal walls)

- Ceiling: Habitable Areas with Plasterboard lining - Bulk Insulation R4.
- Ceiling: Non-Habitable Area (Garage) with Plasterboard lining - No Bulk Insulation.
- Ceiling Penetrations: Exhaust Fans to be sealed.

LEGEND:

CPT

CT

CTF

CL

DL

COL

V

P

TM

R

L

W

WO

P

KS

DW

CP

G

F

PMU

RD

CBR

CRK

BB

FC

PB

FB

SK

SVJ

TI

GF

VP

FW

CPT

CT

CTF

CL

DL

COL

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TM

R

L

W

WO

P

KS

DW

CP

G

F

PMU

RD

CBR

CRK

BB

FC

PB

FB

SK

SVJ

TI

GF

VP

FW

SMOKE ALARM

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

DA8	AMENDMENT ADDRESS DESCRIPTION	F.F.	11.08.21
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99, RAINWATER TANKS, SECTION J, ADJUST BASIX & NATHERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NATHERS & BASIX DETAILS & BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS AS PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS AS PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

- ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, LOCAL COUNCIL BUILDING APPROVAL, RELEVANT GOVERNING STATUTORY AUTHORITIES & MINIMUM STANDARDS OF CONSTRUCTION.
- FIGURED DIMENSIONS IN PREFERENCE TO ANY SCALE.
- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
- THE BUILDER IS TO INCLUDE & ARRANGE SEPARATE ENGINEERS DETAILS WORK INSPECTIONS AS REQUIRED.
- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

EVOLVING DESIGN  
& DRAFTING

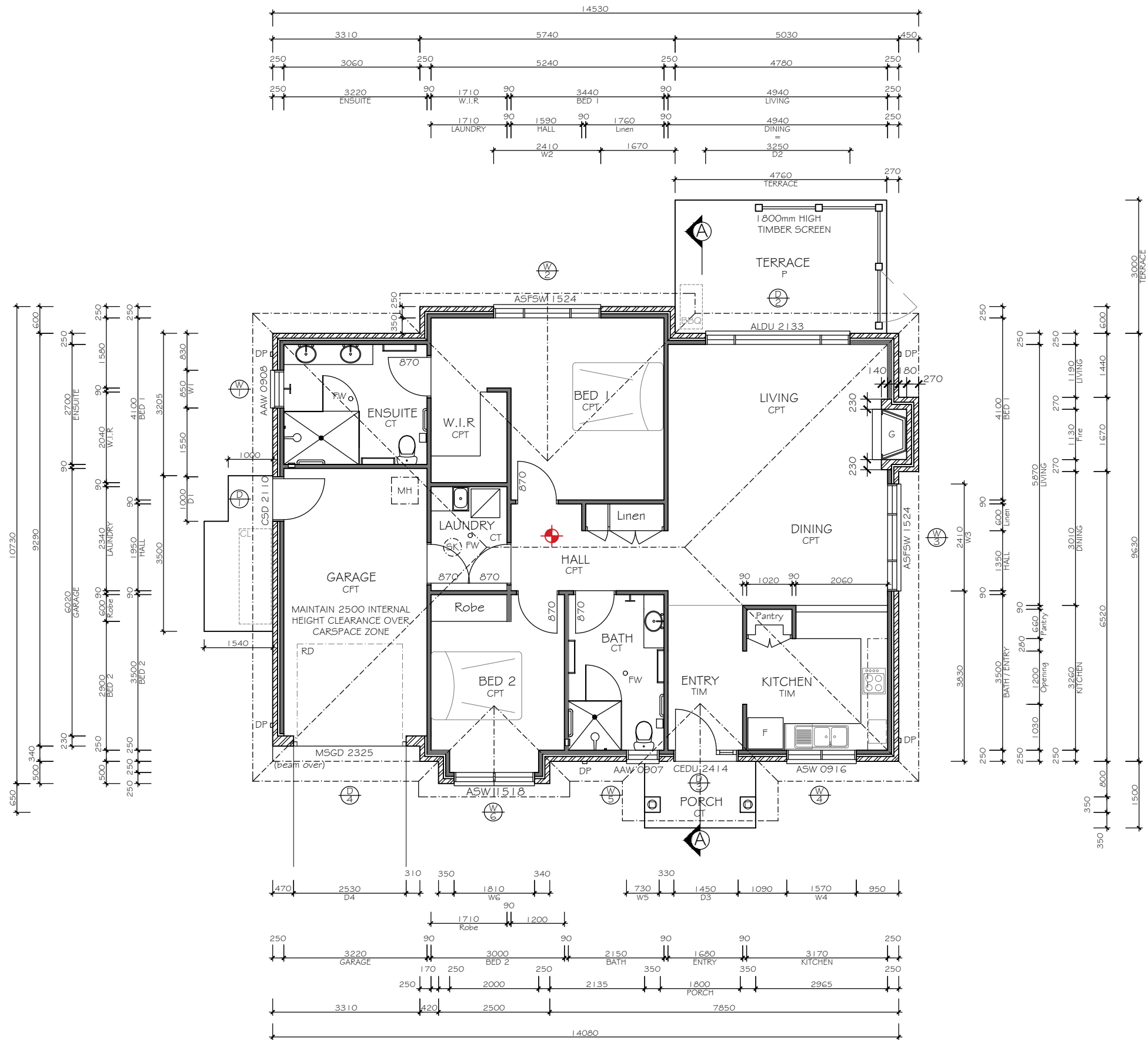
NO: SHOP G - 459 GREAT WESTERN  
HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE B BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G & B WISEMAN ROAD,  
BOWRAL, 2576

SCALE: 1:100 @ A1  
DATE: 04.05.22

PROJ NO: 115/20  
SHEET NO: B/2  
AMENDMENT: DA1/0





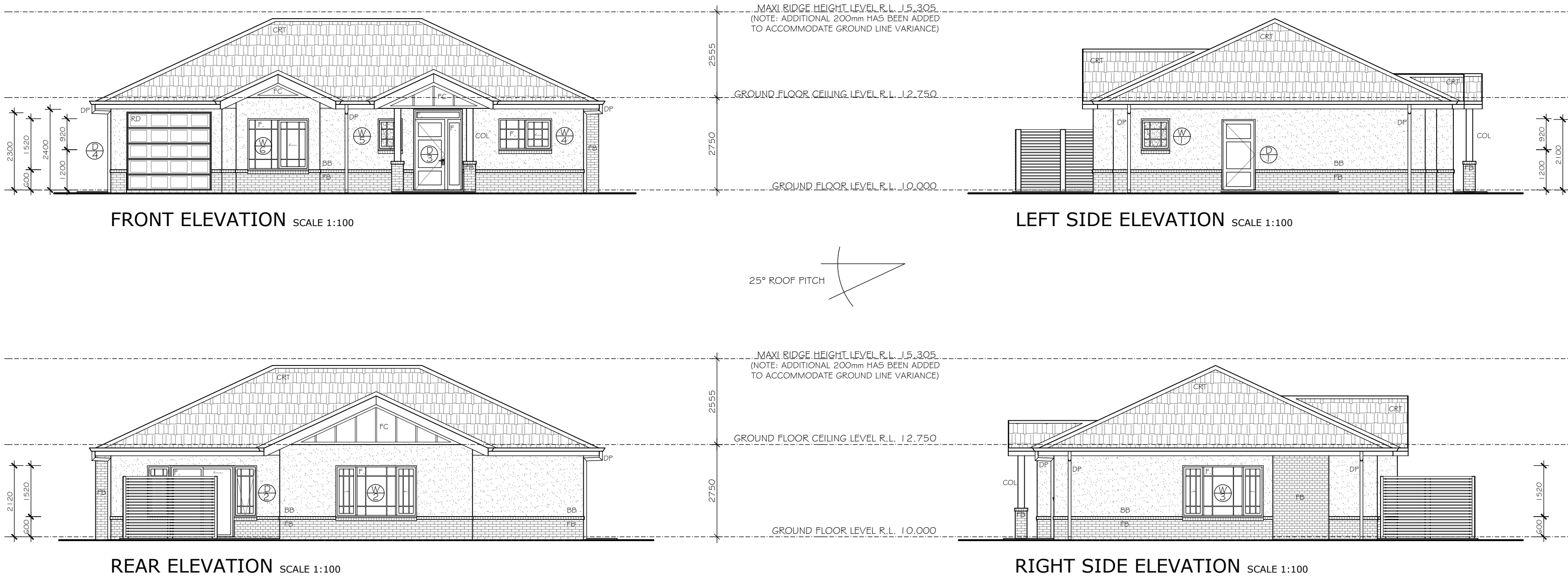
TYPE C UNIT - GROUND FLOOR PLAN SCALE 1:100

TYPE C BUILDING - VILLA NUMBER	GROUND FLOOR R.L.	EXTERNAL FINISHES
VILLA 90	R.L. 669.560	SCHEME 1
VILLA 146	R.L. 672.050	SCHEME 2

TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA

#### TYPE C CALCULATIONS

- PROPOSED HARDSTAND**
- TYPE C BUILDING FOOTPRINT - 139.91 M2
  - ENTRY PORCH - 3.75 M2
  - REAR TERRACE AREA - 14.28 M2
  - CLOTHES LINE AREA - 4.84 M2
- PROPOSED GROSS FLOOR AREA**
- GROUND FLOOR AREA (inside surface of external walls) - 106.17 M2
  - GARAGE FLOOR AREA (inside surface of external walls) (non-habitable area, not included in floor space) - (19.38 M2)



- See PROJECT DETAILS SHEET for BASIX & NatHERs Certificate requirements.

- Additional NatHERs Certificate Requirements:
  - External Wall: Brick Veneer Wall to Habitable Areas - Bulk Insulation R2.
  - External Wall: Single Skin Brick Wall to Garage - No Bulk Insulation.
  - Internal Wall: Cavity wall, direct fix plasterboard, single gap - Bulk Insulation R2, No Air Gap. (to Garage Walls)
  - Internal Wall: Cavity wall, direct fix plasterboard, single gap - No Bulk Insulation. (to remaining internal walls)

- Ceiling: Habitable Areas with Plasterboard Lining - Bulk Insulation R4.
- Ceiling: Non-Habitable Area (Garage) with Plasterboard Lining - No Bulk Insulation.
- Ceiling Penetrations: Exhaust Fans to be sealed.

#### LEGEND:

CPT	CARPET
CT	NON SLIP CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FINISH
CL	CLOTHES LINE
DP	DOWNPIPE
COL	195mm FC COLUMN
V	VINYL FLOOR COVERING
P	PAVING UNIT
TM	TIMBER FLOOR
R	WARDROBE
L	PREFABRICATED LINEN CUPBOARD
W	WASHING MACHINE - BY OTHERS
WO	WALL OVEN UNIT
P	PANTRY UNIT
KS	KITCHEN SINK
DW	DISH WASHER
CP	COOK TOP
G	GAS FIREPLACE UNIT
F	REFRIGERATOR - BY OTHERS
HWU	GAS HOT WATER UNIT
RD	GARAGE PANEL LIFT DOOR
CBR	COLORBOND ROOF SHEETING
CRK	CONCRETE ROOF TILES
BB	BAGGED PAINTED BRICKWORK
FC	PAINTED FIBRE CEMENT LINING
PB	PAINTED PLASTERBOARD LINING
SK	SKYLIGHT
BVJ	BRICKWORK VERTICAL JOINTS
TI	TACTILE INDICATORS
GF	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
SA	SMOKE ALARM

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	DATE
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99, RAINWATER TANKS, SECTION J, ADJUST BASIX & NATHERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NATHERS & BASIX DETAILS & BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS AS PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS AS PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

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- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
- THE BUILDER IS TO INCLUDE & ARRANGE SEPARATE ENGINEERS DETAILS WORK INSPECTIONS AS REQUIRED.
- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

## EVOLVING DESIGN & DRAFTING

NO: SHOP G - 459 GREAT WESTERN  
HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL

STAGE 5-111 WORKS

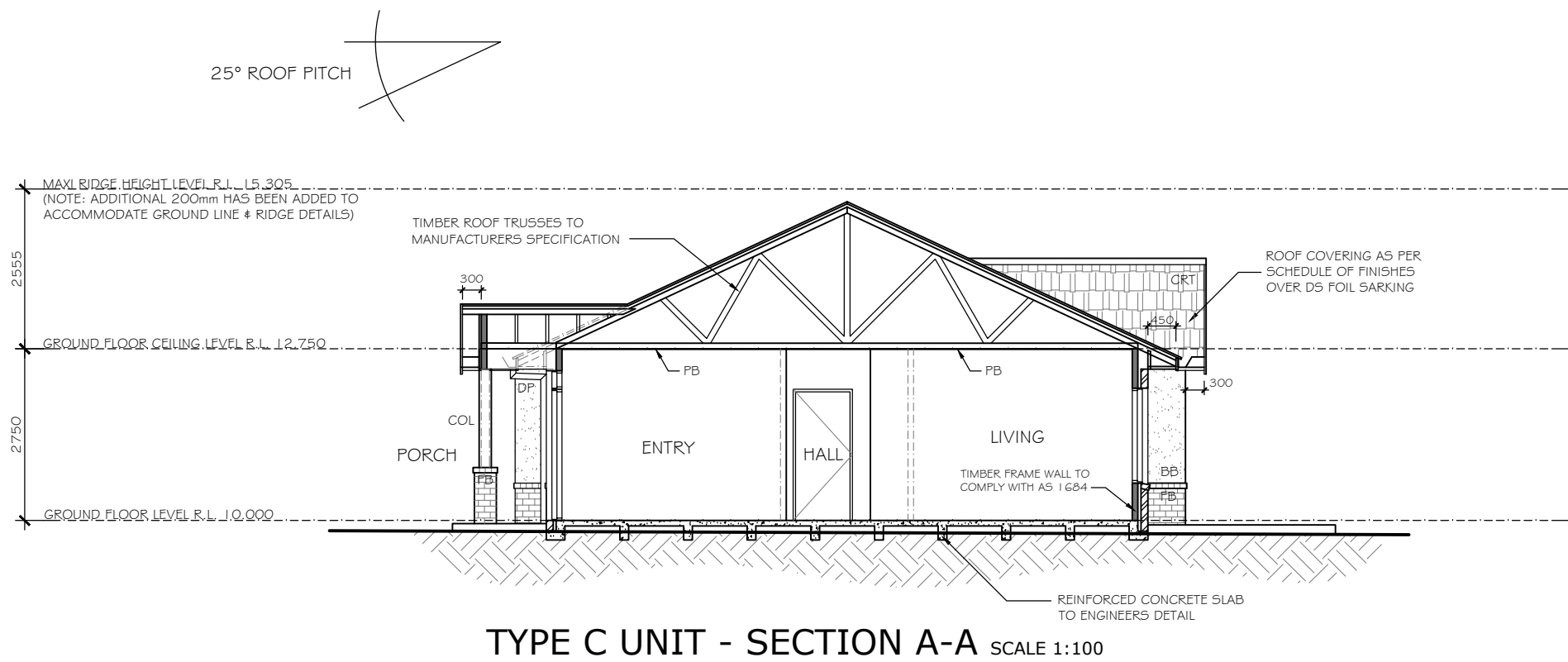
DRAWING: TYPE C BUILDING DETAILS

FOR: PEPPERFIELD BOWRAL

AT: No. G & B WISEMAN ROAD,

BOWRAL, 2576

SCALE: 1:100 @ A1	DATE: 04.05.22	CBS NO: 115/20	SHEET NO: C	AMENDMENT: DA1/0
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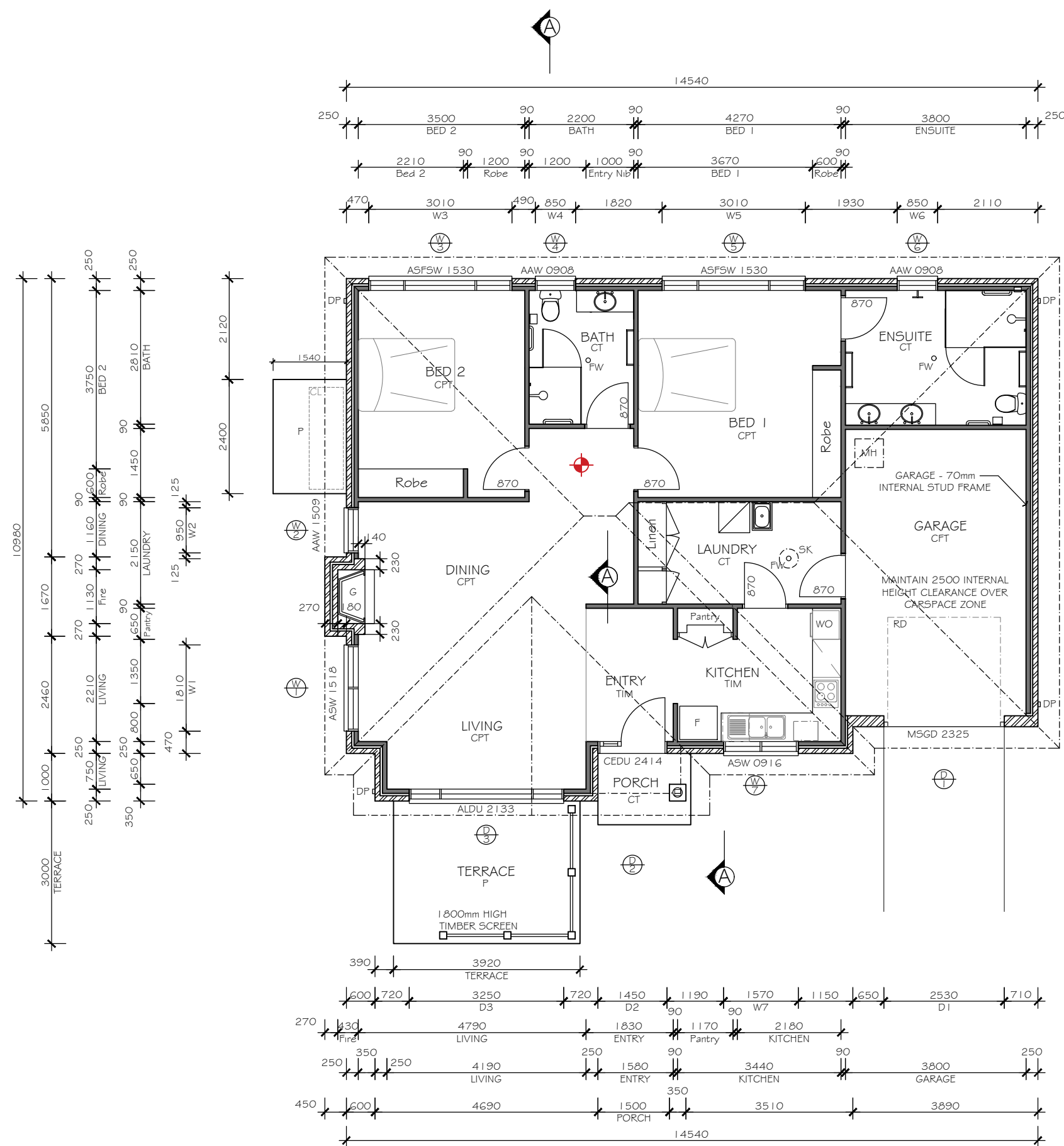


TYPE C UNIT - SECTION A-A SCALE 1:100



3D VIEW OF PROPOSED TYPE C BUILDING (FRONT)





TYPE D UNIT - GROUND FLOOR PLAN SCALE 1:100  
[TERRACE TO FRONT]

TYPE D FRONT - BUILDING - VILLA NUMBER	GROUND FLOOR R.L.	EXTERNAL FINISHES
VILLA 97	R.L. 669.000	SCHEME 2
VILLA 126	R.L. 670.600	SCHEME 3

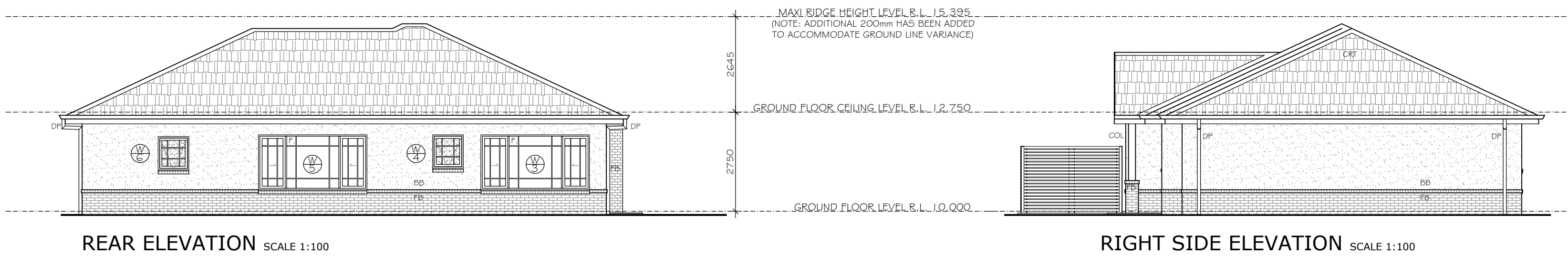
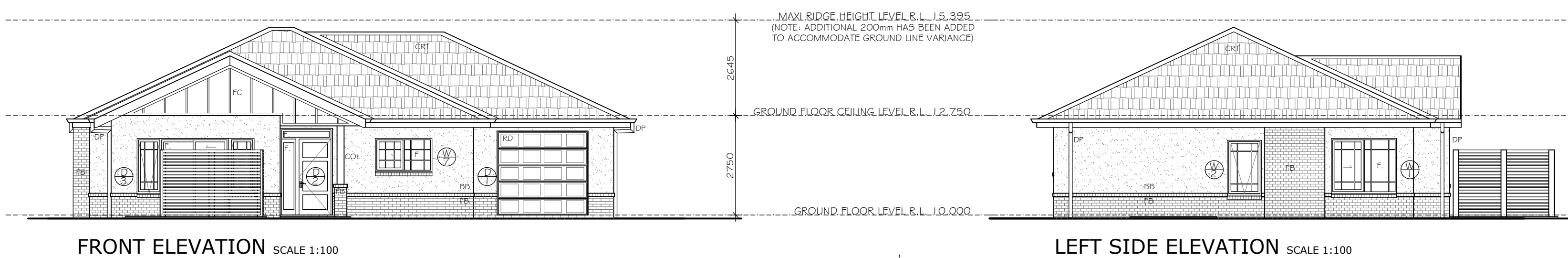
#### TYPE D CALCULATIONS

##### PROPOSED HARDSTAND

- TYPE D BUILDING FOOTPRINT - 146.37 M2
- ENTRY PORCH - 2.93 M2
- FRONT TERRACE AREA - 11.76 M2
- CLOTHES LINE AREA - 3.70 M2

- PROPOSED GROSS FLOOR AREA
- GROUND FLOOR AREA - 112.60 M2 (inside surface of external walls)
- GARAGE FLOOR AREA - (22.88 M2) (inside surface of external walls) (non-habitable area, not included in floor space)

TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA



- See PROJECT DETAILS SHEET for BASIX & Nather's Certificate requirements.

- Additional Nather's Certificate Requirements:
  - External Wall: Brick Veneer Wall to Habitable Areas - Bulk Insulation R2.
  - External Wall: Single Skin Brick Wall to Garage - No Bulk Insulation.
  - Internal Wall: Cavity wall, direct fix plasterboard, single gap - Bulk Insulation R2, No Air Gap. (to Garage Walls)
  - Internal Wall: Cavity wall, direct fix plasterboard, single gap - No Bulk Insulation. (to remaining internal walls)

- Ceiling: Habitable Areas with Plasterboard Lining - Bulk Insulation R4.
- Ceiling: Non-Habitable Area (Garage) with Plasterboard Lining - No Bulk Insulation.
- Ceiling Penetrations: Exhaust Fans to be sealed.

#### LEGEND:

CPT	CARPET
CT	NON SLIP CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FINISH
CL	CLOTHES LINE
DL	DOWNPIPE
COL	195mm FC COLUMN
V	VINYL FLOOR COVERING
P	PAVING UNIT
TM	TIMBER FLOOR
R	WARDROBE
L	PREFABRICATED LINEN CUPBOARD
W	WASHING MACHINE - BY OTHERS
WO	WALL OVEN UNIT
P	PANTRY UNIT
KS	KITCHEN SINK
DW	DISH WASHER
CP	COOK TOP
G	GAS FIREPLACE UNIT
F	REFRIGERATOR - BY OTHERS
HWU	GAS HOT WATER UNIT
RD	GARAGE PANEL LIFT DOOR
CBR	COLORBOND ROOF SHEETING
BE	BAGGED PAINTED BRICKWORK
FC	PAINTED FIBRE CEMENT LINING
PB	PAINTED PLASTERBOARD LINING
SK	SKYLIGHT
BVJ	BRICKWORK VERTICAL JOINTS
TI	TACTILE INDICATORS
GF	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
SA	SMOKE ALARM

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	11.08.21
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99. RAINWATER TANKS. SECTION J. ADJUST BASIX. NATHER'S PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NATHER'S & BASIX DETAILS + BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS AS PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS AS PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

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- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.

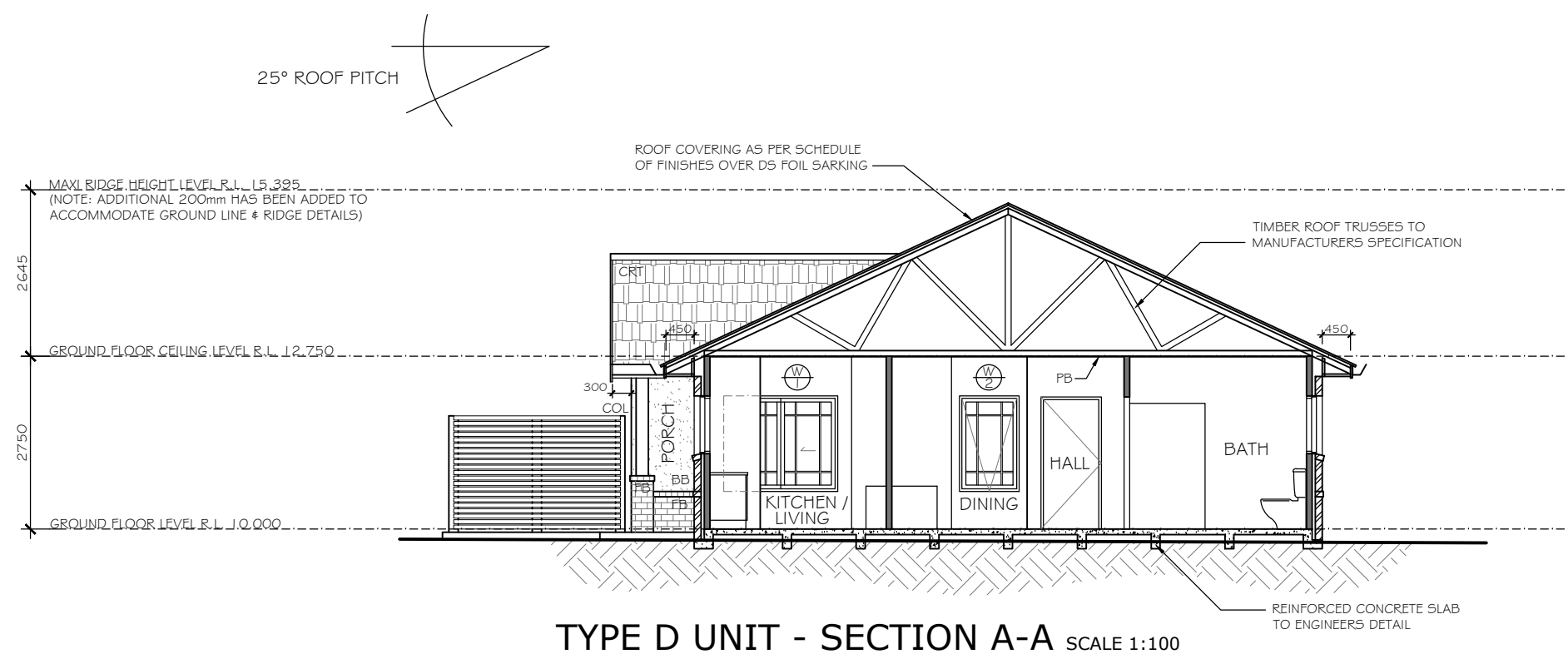
## EVOLVING DESIGN & DRAFTING

NO: SHOP G - 459 GREAT WESTERN  
HIGHWAY, FAULCONBRIDGE. NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE D FRONT BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G & B WISEMAN ROAD,  
BOWRAL, 2576

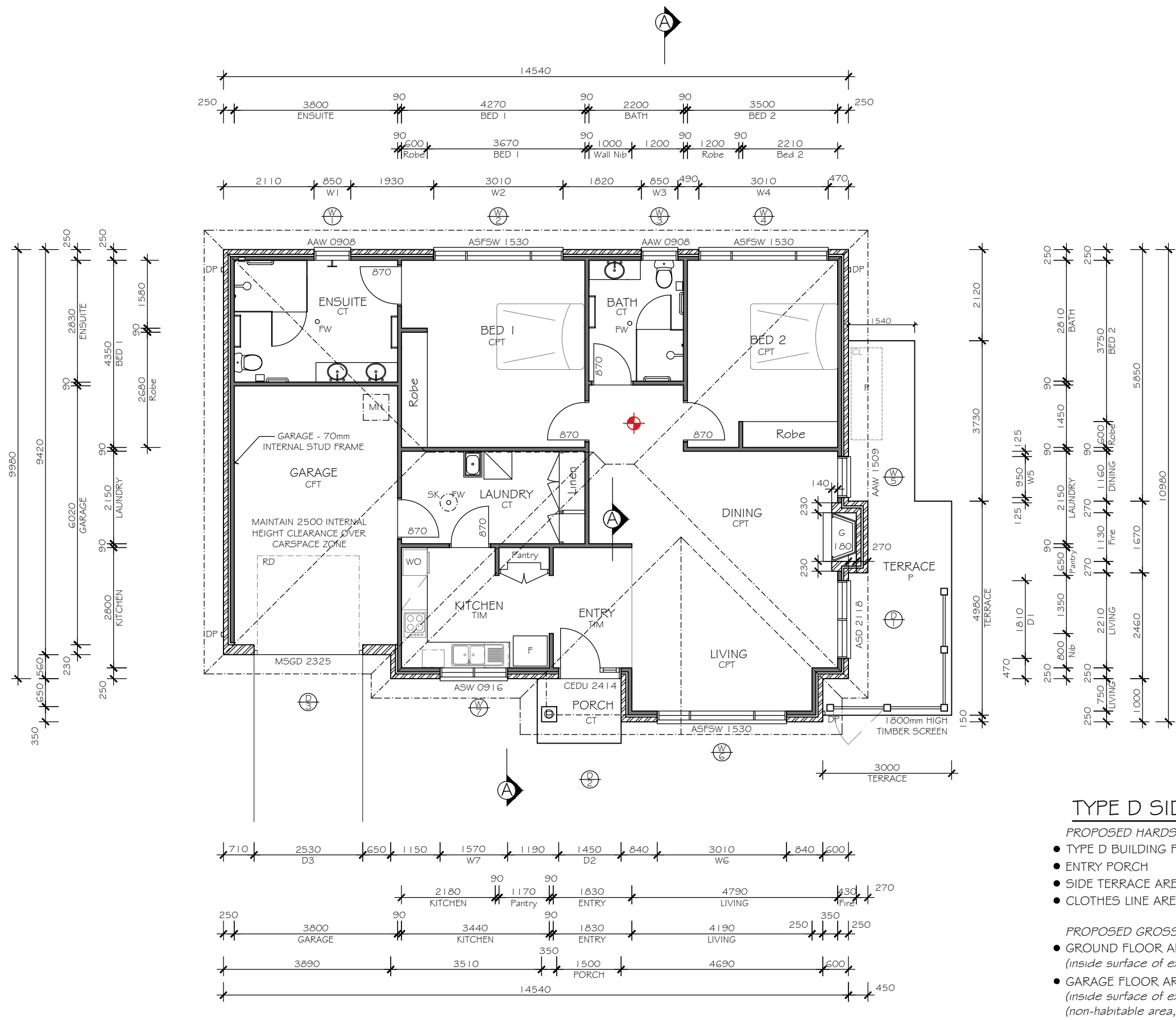
SCALE: 1:100 @ A1  
DATE: 04.05.22

CDS NO: 115/20  
SHEET NO: D/F  
AMENDMENT: DA/10



3D VIEW OF PROPOSED TYPE D FRONT BUILDING (FRONT)





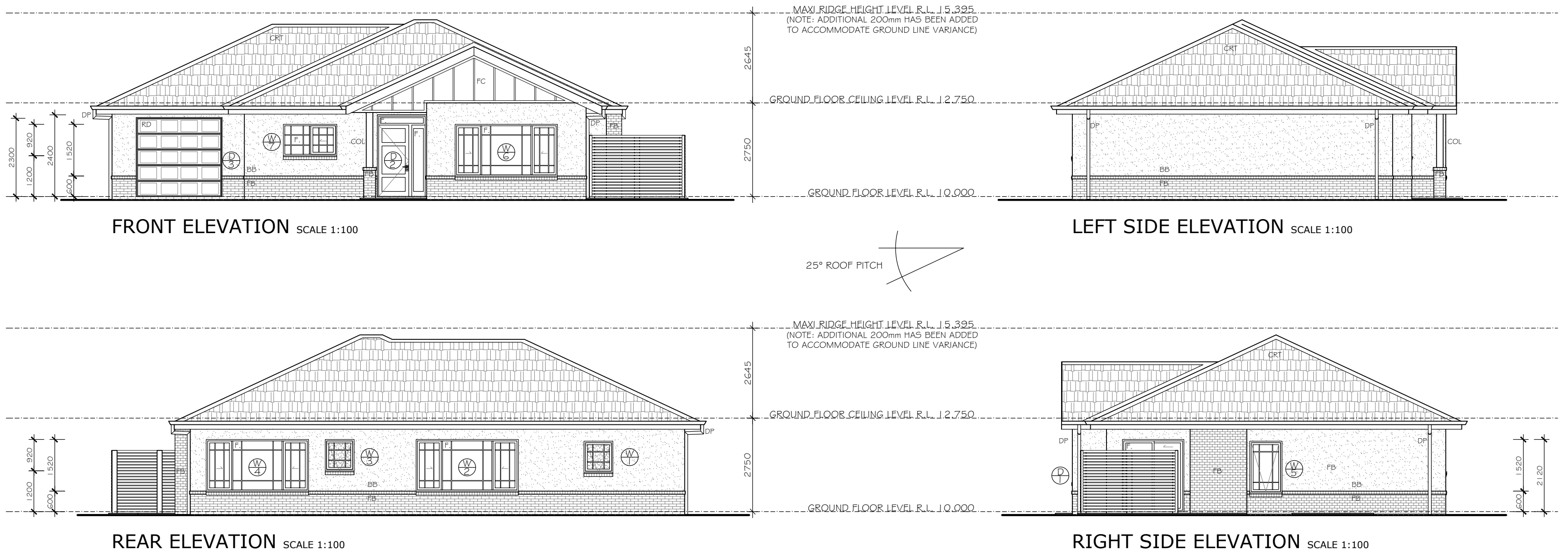
TYPE D UNIT - GROUND FLOOR PLAN SCALE 1:100  
[TERRACE TO SIDE]

TYPE D SIDE - BUILDING - VILLA NUMBER	GROUND FLOOR R.L.	EXTERNAL FINISHES
VILLA 118	R.L. 669.390	SCHEME 3
VILLA 119	R.L. 669.570	SCHEME 2

#### TYPE D SIDE CALCULATIONS

PROPOSED HARDSTAND	
• TYPE D BUILDING FOOTPRINT	- 146.37 M2
• ENTRY PORCH	- 2.93 M2
• SIDE TERRACE AREA	- 11.71 M2
• CLOTHES LINE AREA	- 5.74 M2
PROPOSED GROSS FLOOR AREA	
• GROUND FLOOR AREA	- 112.80 M2
(inside surface of external walls)	
• GARAGE FLOOR AREA	- (22.68 M2)
(inside surface of external walls)	
(non-habitable area, not included in floor space)	

TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA



- See PROJECT DETAILS SHEET for BASIX & NATHERs Certificate requirements.
- Additional Nather's Certificate Requirements:
  - External Wall: Brck Veneer Wall to Habitable Areas - Bulk Insulation R2.
  - External Wall: Single Skin Brck Wall to Garage - No Bulk Insulation.

- Internal Wall: Cavity wall, direct fix plasterboard, single gap - Bulk Insulation R2, No Air Gap. (to Garage Walls)
- Internal Wall: Cavity wall, direct fix plasterboard, single gap - No Bulk Insulation. (to remaining internal walls)
- Ceiling: Habitable Areas with Plasterboard lining - Bulk Insulation R4.
- Ceiling: Non-Habitable Area (Garage) with Plasterboard lining - No Bulk Insulation.
- Ceiling Penetrations: Exhaust Fans to be sealed.

LEGEND:	
CPT	CARPET
CT	NON SLIP CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FINISH
CL	CLOTHES LINE
DP	DOWNPIPE
COL	195mm FC COLUMN
V	VINYL FLOOR COVERING
P	PAVING UNIT
TM	TIMBER FLOOR
R	WARDROBE
L	PREFABRICATED LINEN CUPBOARD
W	WASHING MACHINE - BY OTHERS
WO	WALL OVEN UNIT
P	PANTRY UNIT
KS	KITCHEN SINK
DW	DISH WASHER
CP	COOK TOP
G	GAS FIREPLACE UNIT
F	REFRIGERATOR - BY OTHERS
HWU	GAS HOT WATER UNIT
RD	GARAGE PANEL LIFT DOOR
CBR	COLORBOND ROOF SHEETING
CRK	CONCRETE ROOF TILES
BB	BAGGED PAINTED BRICKWORK
FC	PAINTED FIBRE CEMENT LINING
PB	PAINTED PLASTERBOARD LINING
FB	FACE BRICKWORK
SK	SKYLIGHT
BJV	BRICKWORK VERTICAL JOINTS
TI	TACTILE INDICATORS
GF	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
	SMOKE ALARM

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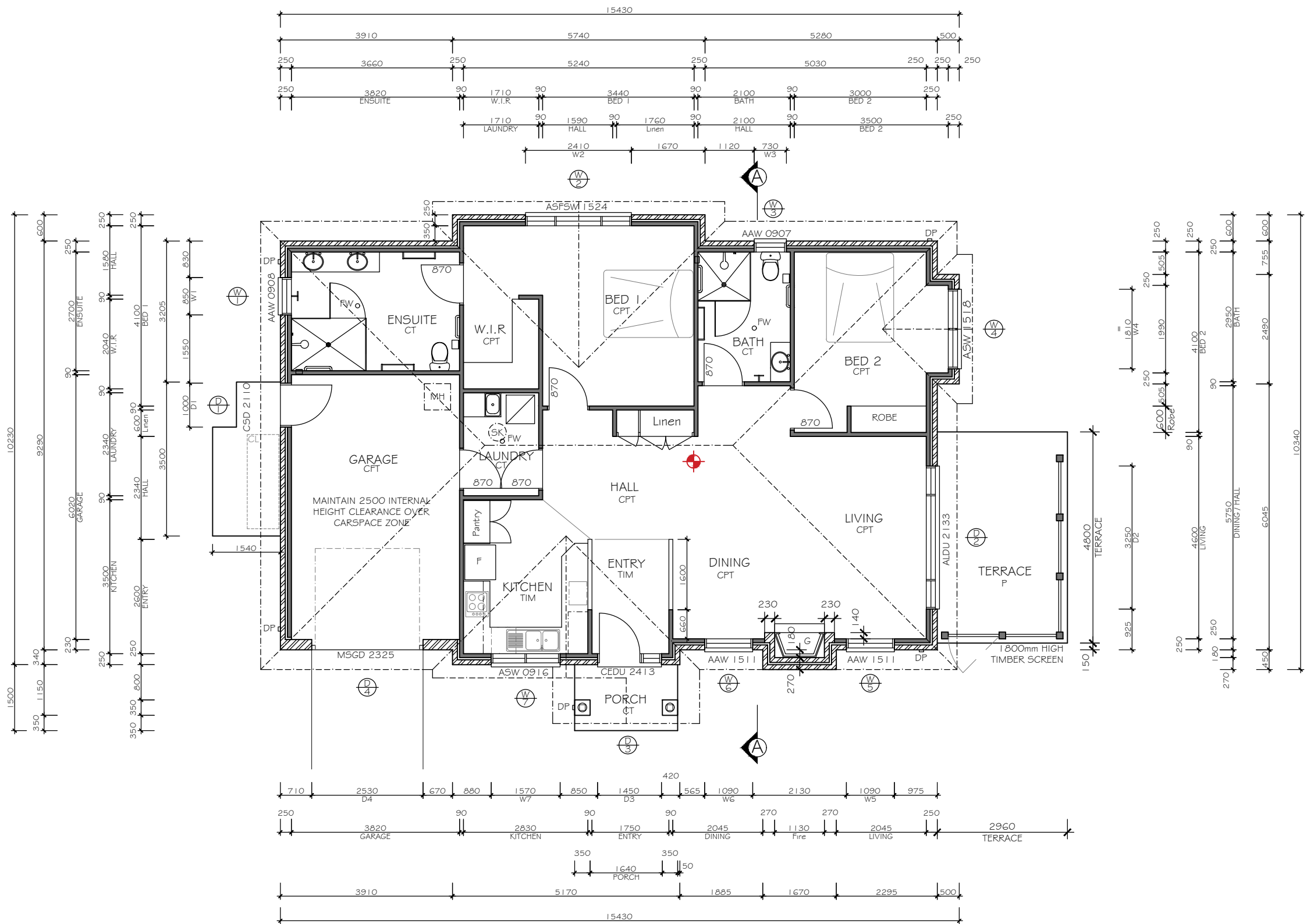
DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	11.08.21
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99, RAINWATER TANKS, SECTION J, ADJUST BASIX & NATHERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NATHERS & BASIX DETAILS + BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS AS PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS AS PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

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**EVOLVING DESIGN & DRAFTING**  
NO: SHOP G - 459 GREAT WESTERN HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748  
PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE D SIDE BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G # 8 WISEMAN ROAD, BOWRAL, 2576

SCALE: 1:100 @ A1	DATE: 04.05.22	CDS NO: 115/20	SHEET NO: D/S	AMENDMENT: DA/10
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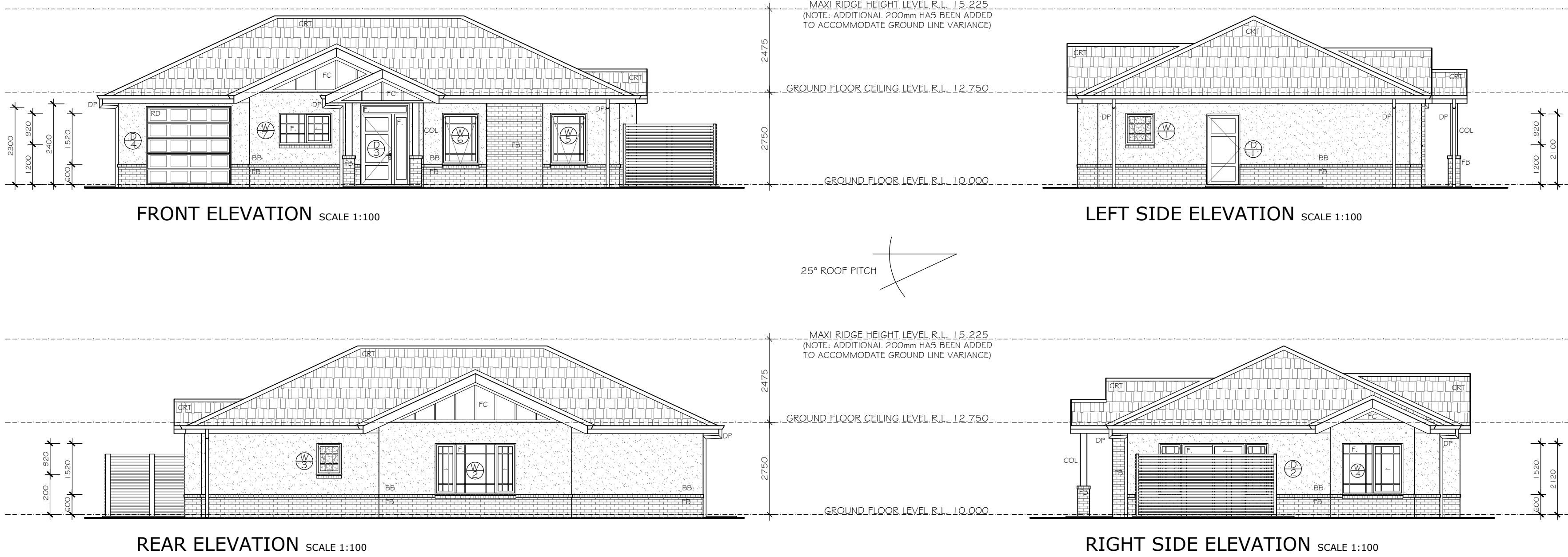
TYPE E UNIT - GROUND FLOOR PLAN SCALE 1:100

TYPE E - BUILDING - VILLA NUMBER	GROUND FLOOR R.L.	EXTERNAL FINISHES
VILLA 137	R.L. 672.050	SCHEME 2

TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA

TYPE E CALCULATIONS

- PROPOSED HARDSTAND
- TYPE E BUILDING FOOTPRINT - 145.90 M2
  - ENTRY PORCH - 3.51 M2
  - SIDE TERRACE AREA - 14.21 M2
  - CLOTHES LINE AREA - 4.83 M2
- PROPOSED GROSS FLOOR AREA
- GROUND FLOOR AREA (inside surface of external walls) - 110.13 M2
  - GARAGE FLOOR AREA (inside surface of external walls) - (23.00 M2)
- (non-habitable area, not included in floor space)



- See PROJECT DETAILS SHEET for BASIX & NatHERs Certificate requirements.

- Additional NatHERs Certificate Requirements:

- External Wall: Brck Veneer Wall to Habitable Areas - Bulk Insulation R2.
- External Wall: Single Skin Brick Wall to Garage - No Bulk Insulation.

- Internal Wall: Cavity wall, direct fix plasterboard, single gap - Bulk Insulation R2, No Air Gap. (to Garage Walls)
- Internal Wall: Cavity wall, direct fix plasterboard, single gap - No Bulk Insulation. (to remaining internal walls)

- Ceiling: Habitable Areas with Plasterboard lining - Bulk Insulation R4.
- Ceiling: Non-Habitable Area (Garage) with Plasterboard lining - No Bulk Insulation.
- Ceiling Penetrations: Exhaust Fans to be sealed.

LEGEND:

- CPT CARPET
- CT NON SLIP CERAMIC FLOOR TILE
- CTF CONCRETE STEEL TROWEL FINISH
- CL CLOTHES LINE
- DP DOWNPIPE
- COL 195mm FC COLUMN
- V VINYL FLOOR COVERING
- P PAVING UNIT
- TM TIMBER FLOOR
- R WARDROBE
- L PREFABRICATED LINEN CUPBOARD
- W WASHING MACHINE - BY OTHERS
- WO WALL OVEN UNIT
- P PANTRY UNIT
- KS KITCHEN SINK
- DW DISH WASHER
- CP COOK TOP
- G GAS FIREPLACE UNIT
- F REFRIGERATOR - BY OTHERS
- FWU GAS HOT WATER UNIT
- RD GARAGE PANEL LIFT DOOR
- CBR COLORBOND ROOF SHEETING
- CRK CONCRETE ROOF TILES
- BB BAGGED PAINTED BRICKWORK
- FC PAINTED FIBRE CEMENT LINING
- PB PAINTED PLASTERBOARD LINING
- FB FACE BRICKWORK
- SK SKYLIGHT
- BVJ BRICKWORK VERTICAL JOINTS
- TI TACTILE INDICATORS
- GF GAS FLUE
- VP VENT PIPE
- FW FLOOR WASTE
- SMOKE ALARM

APPLICATION ONLY,  
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DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	DATE
DA7	ADJUST BUILDING R.L.s TO VILLA 97 & 98/99 RAINFALL TANKS, SECTION J, ADJUST BASIX & NATHERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
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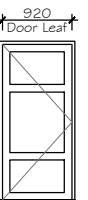
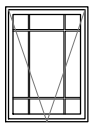

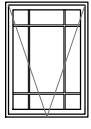
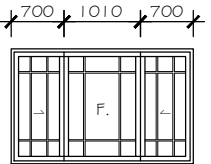
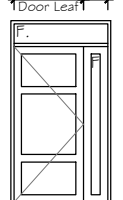


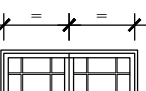
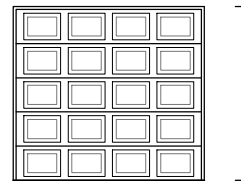
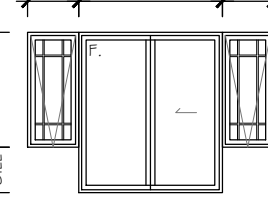
EVOLVING DESIGN  
& DRAFTING

NO: SHOP G - 459 GREAT WESTERN  
HIGHWAY, FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842  
INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: TYPE E BUILDING DETAILS  
FOR: PEPPERFIELD BOWRAL  
AT: No. G & B WISEMAN ROAD,  
BOWRAL, 2576

SCALE: 1:100 @ A1  
DATE: 04.05.22

SHEET NO. 115/20  
ADDITIONAL SHEET NO. E  
ADDITIONAL SHEET NO. DA10

EXTERNAL WINDOW & DOOR SCHEDULE - TYPE E														SCALE 1:100		
STANDARD NOTES:			ALUMINIUM WINDOWS & DOORS: (MANUFACTURER T.B.C)					TIMBER WINDOWS & DOORS: (MANUFACTURER T.B.C)					BASIX CERTIFICATE NUMBER:			
<ul style="list-style-type: none"><li>WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM OUTSIDE</li><li>ALL WINDOWS TO COME WITH "KEYED ALIKE" LOCKS</li></ul>			<ul style="list-style-type: none"><li>STANDARD ALUMINIUM WINDOWS &amp; DOORS FRAME TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)</li></ul>					<ul style="list-style-type: none"><li>STANDARD TIMBER WINDOWS &amp; DOORS FRAME TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR RANGE. (COLOUR AS PER SCHEDULE OF FINISHES)</li></ul>					1216770M_03			
													NATHERS CERTIFICATE NUMBER:			
													0006114280			
		DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES				DETAILS & LOCATION		MATERIAL	GLAZING	FLYSCREENS	SPECIAL NOTES
D1		CSD 2110	BRICK OPENING H- 2100 W- 1000	W.R.C	N/A	T.B.A	450 EAVE OVER-HANG OPERABLE DOOR LEAF WITH 150mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1	W5		AAW 1511	BRICK OPENING H- 1520 W- 1090	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 ROOF OVER-HANG	
	LEFT ELEVATION GARAGE			COLOUR			REVEAL SIZE to suit wall construction		FRONT ELEVATION LIVING			COLOUR				REVEAL SIZE to suit wall construction
	TIMBER SOLID CORE DOOR OPEN			SEE SCHEDULE OF FINISHES					ALUMINIUM AWNING WINDOW OPEN			SEE SCHEDULE OF FINISHES				
W1		AAW 0908	BRICK OPENING H- 920 W- 850	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG	W6		AAW 1511	BRICK OPENING H- 1520 W- 1090	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 ROOF OVER-HANG	
	LEFT ELEVATION ENSUITE		(FROSTED)	COLOUR			REVEAL SIZE to suit wall construction		FRONT ELEVATION DINING			COLOUR				REVEAL SIZE to suit wall construction
	ALUMINIUM AWNING WINDOW OPEN			SEE SCHEDULE OF FINISHES					ALUMINIUM AWNING WINDOW OPEN			SEE SCHEDULE OF FINISHES				
W2		ASFW 1524	BRICK OPENING H- 1520 W- 2410	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	NO SHADING DEVICE PROPOSED	D3		CEDU 2413	BRICK OPENING H- 2400 W- 1320	W.R.C	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	APPROX. 1.04m ROOF OVER-HANG OPERABLE DOOR LEAF WITH 150mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1	
	REAR ELEVATION BED 1			COLOUR			REVEAL SIZE to suit wall construction		FRONT ELEVATION ENTRY			COLOUR				REVEAL SIZE to suit wall construction
	ALUMINIUM SLIDING FIXED WINDOW SLIDE / FIXED / SLIDE			SEE SCHEDULE OF FINISHES					TIMBER SOLID CORE DOOR WITH FIXED SIDE LIGHT & OVERHEAD WINDOWS OPEN / FIXED / SLIDE			SEE SCHEDULE OF FINISHES				
W3		AAW 0907	BRICK OPENING H- 920 W- 730	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG	W7		ASW 0916	BRICK OPENING H- 920 W- 1570	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	NO SHADING DEVICE PROPOSED	
	REAR ELEVATION BATH		(FROSTED)	COLOUR			REVEAL SIZE to suit wall construction		FRONT ELEVATION KITCHEN			COLOUR				REVEAL SIZE to suit wall construction
	ALUMINIUM AWNING WINDOW OPEN			SEE SCHEDULE OF FINISHES					ALUMINIUM SLIDING WINDOW FIXED / SLIDE			SEE SCHEDULE OF FINISHES				
W4		ASW 1518	BRICK OPENING H- 1520 W- 1810	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG	D4		MSGD 2325	BRICK OPENING H- 2300 W- 2530	MILD STEEL	N/A	N/A	APPROX. 0.79m ROOF OVER-HANG	
	RIGHT ELEVATION BED 2			COLOUR			REVEAL SIZE to suit wall construction		FRONT ELEVATION GARAGE			COLOUR				REVEAL SIZE to suit wall construction
	ALUMINIUM SLIDING FIXED WINDOW FIXED / SLIDE			SEE SCHEDULE OF FINISHES					MILD STEEL PANEL LIFT GARAGE DOOR OPEN			SEE SCHEDULE OF FINISHES				
D2		ALDU 2133	BRICK OPENING H- 2120 W- 3250	ALUMINIUM	See Relevant NATHERS Certificate for specific Villa Glazing Requirements	T.B.A	450 EAVE OVER-HANG OPENING LEAF TO HAVE A MINIMUM CLEAR OPENING OF 800mm THRESHOLD & DOOR TO COMPLY WITH AS1428.1	(GARAGE DOOR BY OTHERS)								
	RIGHT ELEVATION LIVING			COLOUR			REVEAL SIZE to suit wall construction									
	ALUMINIUM SLIDING DOOR WITH AWNING WINDOWS ON EITHER SIDES OPEN / FIXED / SLIDE / OPEN			SEE SCHEDULE OF FINISHES												



3D VIEW OF PROPOSED TYPE E BUILDING (FRONT)





PROPOSED GROSS FLOOR AREA  
GROUND FLOOR AREA - 352.95 M<sup>2</sup>  
(inside surface of external walls)

TYPICAL R.L. LEVEL 10.000 HAS BEEN USED FOR THE PURPOSE OF THE TYPICAL FLOOR UNIT DRAWINGS. PLEASE NOTE THE ACTUAL FLOOR LEVEL R.L. ARE INDICATED ON THE SITE PLAN & TABLE FOR EACH BUILDING TYPE FOR EACH VILLA

APPLICATION ONLY,  
NOT FOR CONSTRUCTION

LEGEND:	
CPT	CARPET
CT	CERAMIC FLOOR TILE
CTF	CONCRETE STEEL TROWEL FIN
CL	CLOTHES LINE
DP	DOWNPipe
DL	1" DIA. COLUMN
V	VINYL FLOOR COVERING
P	PAVING UNIT
T	TRIM
R	WARDROBE
L	PREFABRICATED UNIT CUPBOD
W	WASHING MACHINE - BY OTHERS
NO	NO
P	PANTRY UNIT
KS	KITCHEN SINK
SH	SHOWER
C	COOK TOP
G	GAS FIREPLACE UNIT
	REFRIGERATOR - BY OTHERS
FDU	FREEZER UNIT
RD	RANGE PANEL, LIFT DOOR
CBK	COLORBOND ROOF SHEETING
DB	DOWN DRAIN
B	BAGGED PANTS BRICKWORK
PC	PAINTED BRICK CEMENT LINING
FD	PAINTED PLASTERBOARD LINING
B	BRICKWORK
SKYL	SKYLIGHT
SVJ	SHOWER, VERTICAL JOINTS
RD	ROOF RIDGECAP
G	GAS FLUE
VP	VENT PIPE
FW	FLOOR WASTE
	SMOKE ALARM

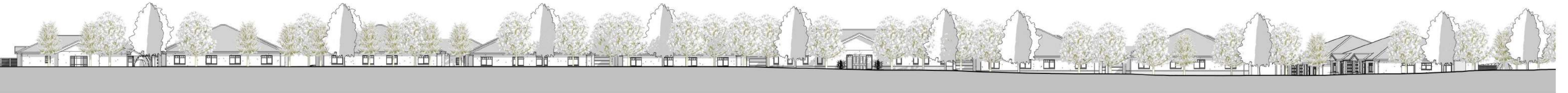
DA#	AMENDMENT ADDRESS DESCRIPTION	F.F.	11.05.21
DA7	ADJUST BUILDING R.L. TO VILLA 97 & 99/99. RAINWATER TANKS, SECTION 1, ADJUST BASIX & NATHERS PROJECT DETAILS & GLAZING DESCRIPTIONS	F.F.	20.07.21
DA6	NATHERS & BASIX DETAILS & BUILDING R.L. TABLES	F.F.	15.06.21
DA5	AMENDMENTS A5 PER EMAILS	F.F.	08.06.21
DA4	FURTHER DISABILITY ACCESS MODIFICATIONS	F.F.	01.06.21
DA3	DISABILITY ACCESS MODIFICATIONS	F.F.	11.05.21
DA2	AMENDMENTS A5 PER 03.01.21 MEETING NOTES	F.F.	20.01.21
DA1	DRAWING LAYOUT	F.F.	22.12.20
No.	ISSUE	DRAWN	DATE

- ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, LOCAL COUNCIL BUILDING APPROVAL, RELEVANT GOVERNING STATUTORY AUTHORITIES & MINIMUM STANDARDS OF CONSTRUCTION.
- FIGURED DIMENSIONS IN PREFERENCE TO ANY SCALE.
- THE BUILDER IS TO BE RESPONSIBLE FOR BUILDING DETAILS, CONSTRUCTION METHODS & SET OUT.
- THE BUILDER IS TO CHECK ALL DIMENSIONS & LEVELS FOR IN ACCURACIES PRIOR TO START.
- THE BUILDER IS TO INCLUDE & ARRANGE SEPARATE ENGINEERS DETAILS 400 INSPECTIONS AS REQUIRED.
- EXISTING FOOTINGS & STRUCTURE TO BE CERTIFIED BY ENGINEER TO WITHSTAND ADDITIONAL LOADS.
- PROPOSED ADDITION & STRUCTURE TO BE CERTIFIED BY ENGINEER.





**STREETVIEW FROM FIRST ROADWAY**  
1 : 400



**STREETVIEW FROM WISEMAN ROAD**  
1 : 400



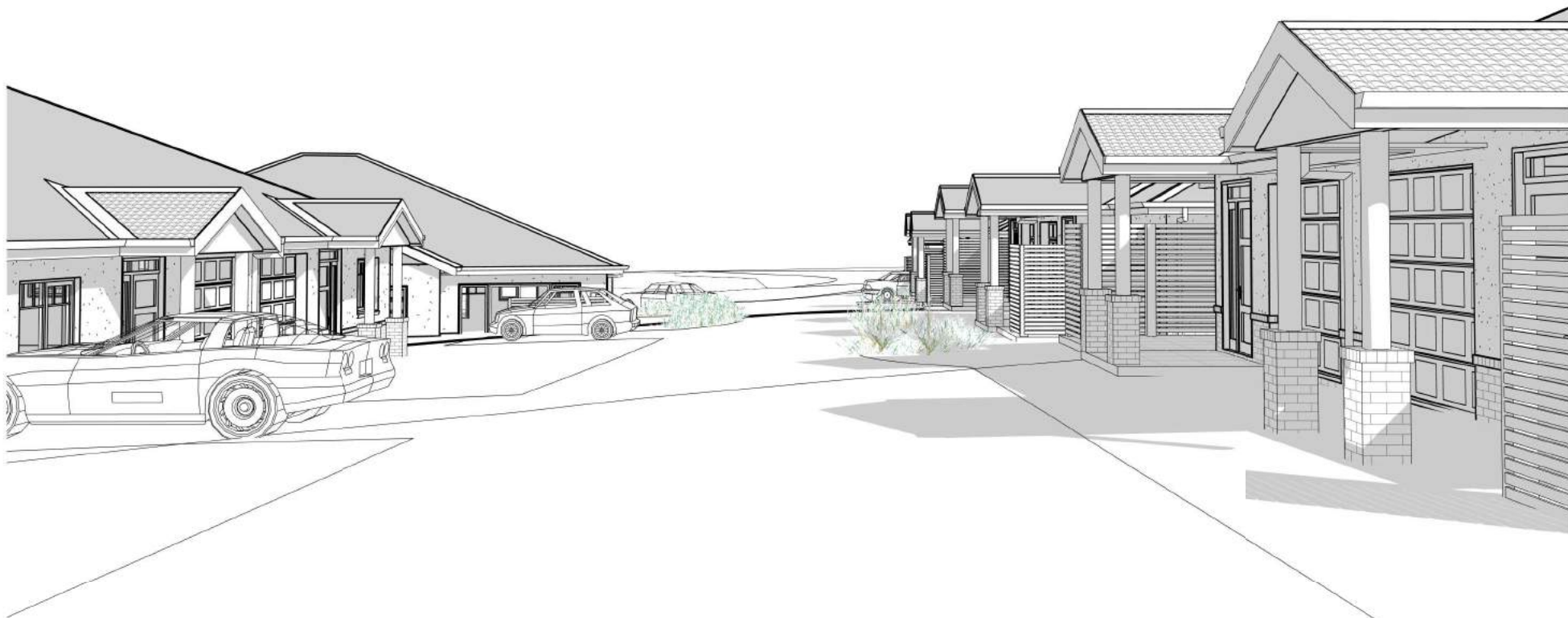
**STREETVIEW FROM WESTERN BOUNDARY**  
1 : 400



**STREETVIEW FROM NORTH WESTERN PARADE**  
1 : 400



**VIEW DOWN FIRST ROADWAY**



**VIEW DOWN THIRD ROADWAY**


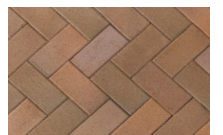

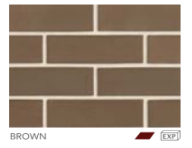

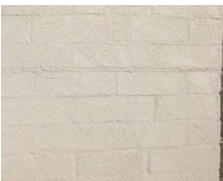




EXTERNAL FINISHES SCHEDULE

REF	VILLA & TYPE	AREA	SCHEME NO.	DESCRIPTION	TYPE	DESIGN RANGE / SUPPLIER	DETAILS, FINISH & COLOUR	VILA NUMBERS
002	FINISHES							
003	EXTERNAL							
004	Type C - VILLA 90 Type B - VILLA 95 & 96 Type A - VILLA 98 & 99 Type B - VILLA 106 & 107 Type B - VILLA 116 & 117 Type A - VILLA 120 & 121 Type B - VILLA 124 & 125 Type A - VILLA 131 & 132 Type B - VILLA 138 & 139 Type A - VILLA 147 & 148 Type A - VILLA 151 & 152 Type A - VILLA 163 & 164 Type A - VILLA 167 & 168	EXTERNAL	Scheme 1	Roof Tile to Unit	Roof Tile	Boral	Boral French - Siena Red (Glazed) 	90, 95, 96, 98, 99, 106, 107, 116, 117, 120, 121, 124, 125, 131, 132, 138, 139, 147, 148, 151, 152, 163, 164, 167, 168
005	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Face brick to base, brick course and mortar colour	Face Brick	PGH	Alfresco Range VINO With natural mortar flush/smooth finish 	See Item 004 for Villa Numbers
006	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Colourbond to guttering, downpipes, fascia, barge board and garage door	Colourbond	Colourbond	Jasper 	See Item 004 for Villa Numbers
007	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Paint to rendered walls above brick course	Paint	Dulux	Nile Clay P13. B5 	See Item 004 for Villa Numbers
008	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Paint to front door, side lights & side door	Paint	Bristol	Boar Skin B146-11 	See Item 004 for Villa Numbers
009	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Paint to gable lining / cladding	Paint	Dulux	Beige Royal P15.B1 	See Item 004 for Villa Numbers
010	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Paint to battens on gable lining / cladding and to fibro cement columns	Paint	Dulux	Candle Bark P15.B2 	See Item 004 for Villa Numbers
011	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Paint to underside of eaves	Paint	Taubmans	Pebble Bay T112-2W 	See Item 004 for Villa Numbers
012	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Powdercoat colour to aluminum doors and windows	Powdercoat	Dulux	White Birch 37131. 	See Item 004 for Villa Numbers

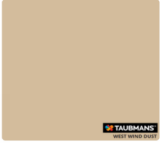



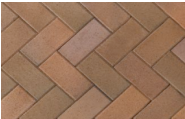


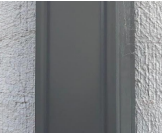


**EXTERNAL FINISHES SCHEDULE**

REF	VILLA & TYPE	AREA	SCHEME NO.	DESCRIPTION	TYPE	DESIGN RANGE / SUPPLIER	DETAILS, FINISH & COLOUR	VILA NUMBERS
013	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Tile to front porch and pathway to front porch	Tile	Beaumont Tiles	300 x 300 Eclipse Clay (1000592) 	See Item 004 for Villa Numbers
014	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Driveway body colour & design	Driveway		Stencilcrete, Colour: Gun Metal Grey, Design: Original Herringbone, Brick size: 90mm x 190mm	See Item 004 for Villa Numbers
015	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Driveway border colour & design	Driveway		Stencilcrete, Colour: Gun Metal Grey, Design: Soldier Course Head, Brick size: 100mm x 195mm	See Item 004 for Villa Numbers
016	See Item 004 for Villa Type & Numbers	EXTERNAL	Scheme 1	Paver to pathways and terraces	Paver	Austral - London Range	Chestnut, Herringbone pattern, Solider Course to edges 	See Item 004 for Villa Numbers
018	Type B - VILLA 91 & 92 Type D - VILLA 97 Type A - VILLA 102 & 103 Type B - VILLA 110 & 111 Type B - VILLA 114 & 115 Type D - VILLA 119 Type B - VILLA 126 & 127 Type A - VILLA 129 & 130 Type A - VILLA 135 & 136 Type E - VILLA 137 Type B - VILLA 142 & 143 Type C - VILLA 146 Type A - VILLA 149 & 150 Type B - VILLA 157 & 158 Type A - VILLA 161 & 162	EXTERNAL	Scheme 2	Roof Tile to Unit	Roof Tile	Boral	Boral Contour - Taupe 	91, 92, 97, 102, 103, 110, 111, 114, 115, 119, 126, 127, 129, 130, 135, 136, 137, 142, 143, 146, 149, 150, 157, 158, 161, 162
019	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Face brick to base, brick course and mortar colour	Face Brick	PGH	Escura Smooth Face Brown With natural mortar flush/smooth finish 	See Item 018 for Villa Numbers
020	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Colorbond to guttering, downpipes, fascia, barge board and garage door	Colourbond	Colourbond	Jasper 	See Item 018 for Villa Numbers
021	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Paint to rendered walls above brick course	Paint	Bristol	West Wind Dust B130-05 	See Item 018 for Villa Numbers
022	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Paint to front door, side lights & side door	Paint	Bristol	Echidna B146-08 	See Item 018 for Villa Numbers
023	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Paint to gable lining / cladding & fibro cement columns	Paint	Taubmans	Bedford Road T117-2W 	See Item 018 for Villa Numbers




EXTERNAL FINISHES SCHEDULE

REF	VILLA & TYPE	AREA	SCHEME NO.	DESCRIPTION	TYPE	DESIGN RANGE / SUPPLIER	DETAILS, FINISH & COLOUR	VILA NUMBERS
024	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Paint to battens on glable lining / cladding	Paint	Bristol	West Wind Dust B130-05 	See Item 018 for Villa Numbers
025	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2		Paint	Taubmans	Pebble Bay T112-2W 	See Item 018 for Villa Numbers
026	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Powdercoat colour to aluminum doors and windows	Powdercoat	Dulux	White Birch 37131. 	See Item 018 for Villa Numbers
027	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Tile to front porch and pathway to front porch	Tile	Beaumont Tiles	300 x 300 Eclipse Linen (1000590) 	See Item 018 for Villa Numbers
028	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Driveway body colour & design	Driveway		Stencilcrete, Colour: Gun Metal Grey, Design: Original Herringbone, Brick size: 90mm x 190mm	See Item 018 for Villa Numbers
029	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Driveway border colour & design	Driveway		Stencilcrete, Colour: Gun Metal Grey, Design: Soldier Course Head, Brick size: 100mm x 195mm	See Item 018 for Villa Numbers
030	See Item 018 for Villa Type & Numbers	EXTERNAL	Scheme 2	Paver to pathways and terraces	Paver	Austral - London Range	Chestnut, Herringbone pattern, Solider Course to edges 	See Item 018 for Villa Numbers
032	Type A - VILLA 88 & 89 Type B - VILLA 93 & 94 Type A - VILLA 100 & 101 Type A - VILLA 104 & 105 Type B - VILLA 108 & 109 Type B - VILLA 112 & 113 Type D - VILLA 118 Type A VILLA 122 & 123 Type D - VILLA 128 Type A - VILLA 133 & 134 Type B - VILLA 140 & 141 Type B - VILLA 144 & 145 Type A - VILLA 153 & 154 Type B - VILLA 155 & 156 Type A - VILLA 159 & 160 Type A - VILLA 165 & 166	EXTERNAL	Scheme 3	Roof Tile to Unit	Roof Tile	Boral	Boral Contour - Shale Grey 	88, 89, 93, 94, 100, 101, 104, 105, 108, 109, 112, 113, 118, 122, 123, 128, 133, 134, 140, 141, 144, 145, 153, 154, 155, 156, 159, 160, 165, 166
033	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Face brick to base, brick course and mortar colour	Face Brick	PGH	Escura Smooth Face Flame Red With natural mortar flush/smooth finish 	See Item 032 for Villa Numbers
034	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Colorbond to guttering, downpipes, fascia, barge board and garage door	Colourbond	Colourbond	Woodland Grey 	See Item 032 for Villa Numbers



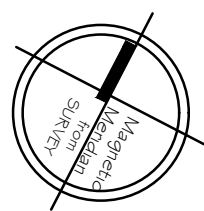
EXTERNAL FINISHES SCHEDULE

REF	VILLA & TYPE	AREA	SCHEME NO.	DESCRIPTION	TYPE	DESIGN RANGE / SUPPLIER	DETAILS, FINISH & COLOUR	VILA NUMBERS
035	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Paint to rendered walls above brick course	Paint	Bristol	<p>Vellum Smoke B167-06</p> 	See Item 032 for Villa Numbers
036	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Paint to front door, side lights & side door	Paint	Bristol	<p>Forest Black 30YY 10/038</p> 	See Item 032 for Villa Numbers
037	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Paint to gable lining / cladding & fibro cement columns	Paint	Taubmans	<p>Pebble Bay T112-2W</p> 	See Item 032 for Villa Numbers
038	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Paint to battens on glable lining / cladding	Paint	Bristol	<p>Putty B167-05</p> 	See Item 032 for Villa Numbers
039	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Paint to underside of eaves	Paint	Taubmans	<p>Pebble Bay T112-2W</p> 	See Item 032 for Villa Numbers
040	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Powdercoat colour to aluminum doors and windows	Powdercoat	Dulux	<p>White Birch 37131.</p> 	See Item 032 for Villa Numbers
041	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Tile to front porch and pathway to front porch	Tile	Beaumont Tiles	<p>300 x 300 Eclipse Clay (1000592)</p> 	See Item 032 for Villa Numbers
042	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Driveway body colour & design	Driveway		<p>Stencilcrete, Colour: Gun Metal Grey, Design: Original Herringbone, Brick size: 90mm x 190mm</p>	See Item 032 for Villa Numbers
043	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Driveway border colour & design	Driveway		<p>Stencilcrete, Colour: Gun Metal Grey, Design: Soldier Course Head, Brick size: 100mm x 195mm</p>	See Item 032 for Villa Numbers
044	See Item 032 for Villa Type & Numbers	EXTERNAL	Scheme 3	Paver to pathways and terraces	Paver	Austral - London Range	<p>Chestnut, Herringbone pattern, Solider Course to edges</p> 	See Item 032 for Villa Numbers



JOB No. 115/20	
SHEET NO 2/2	AMENDMENT DAY 3





TYPICAL BUS STOP SIGN



TYPICAL STREET SIGN



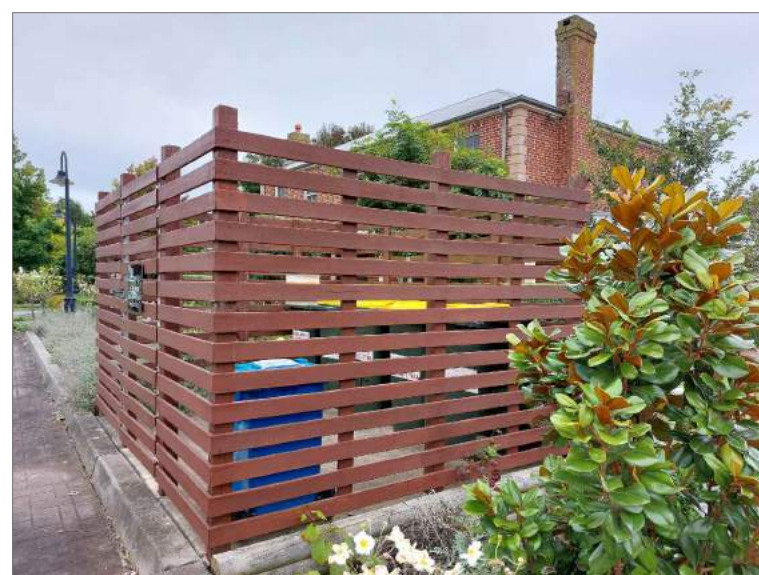
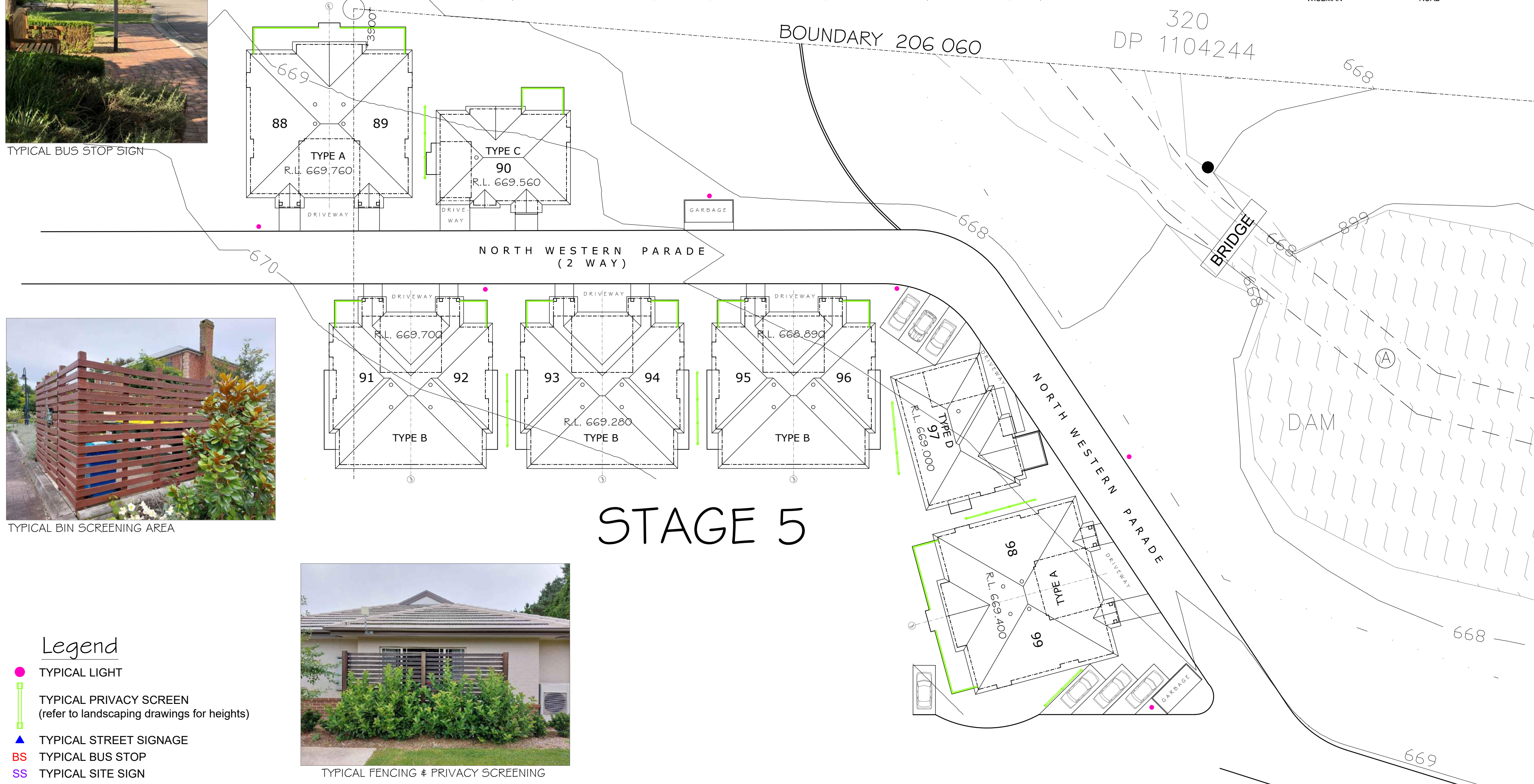
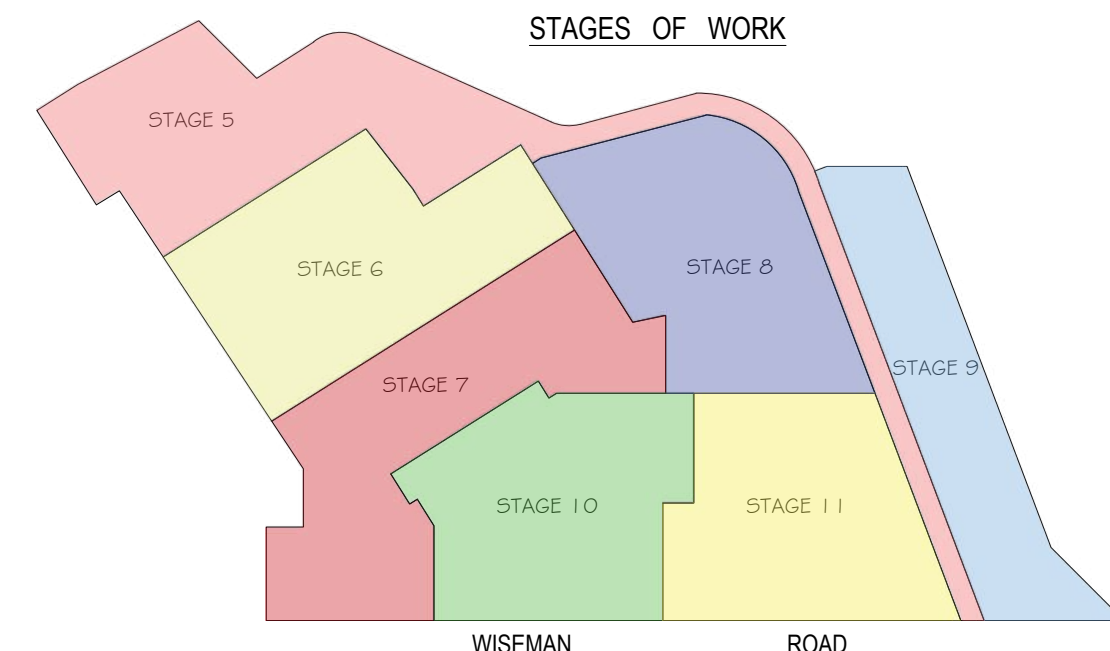
TYPICAL SITE PLAN SIGN



TYPICAL HOUSE NUMBER SIGN



TYPICAL STREET LIGHT



TYPICAL BIN SCREENING AREA



TYPICAL FENCING & PRIVACY SCREENING

## Legend

- TYPICAL LIGHT
- TYPICAL PRIVACY SCREEN  
(refer to landscaping drawings for heights)
- TYPICAL STREET SIGNAGE
- TYPICAL BUS STOP
- TYPICAL SITE SIGN

APPLICATION ONLY,  
NOT FOR CONSTRUCTION



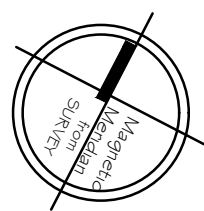
EVOLVING DESIGN & DRAFTING.  
NO: SHOP 6 - 459 GREAT WESTERN HIGHWAY,  
FAULCONBRIDGE. NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: PROPOSED LIGHT, PRIVACY & SIGN - STAGE 5  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No.	115/20
SHEET NO.	LP5
AMENDMENT	DA10





TYPICAL STREET SIGN



TYPICAL SITE PLAN SIGN



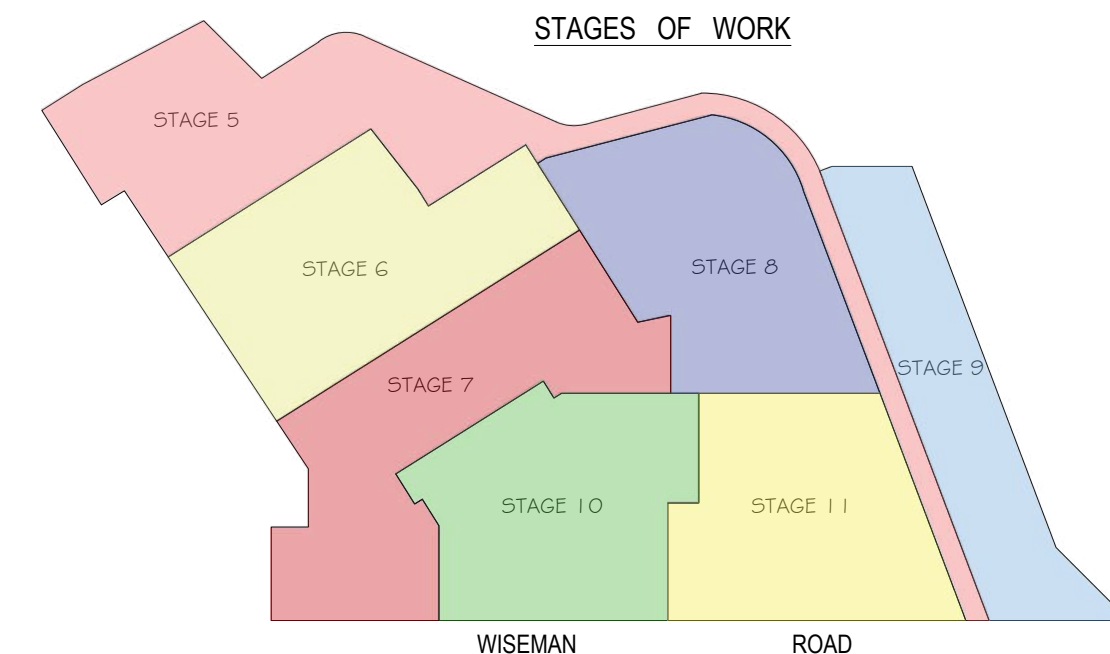
TYPICAL HOUSE NUMBER SIGN

## Legend

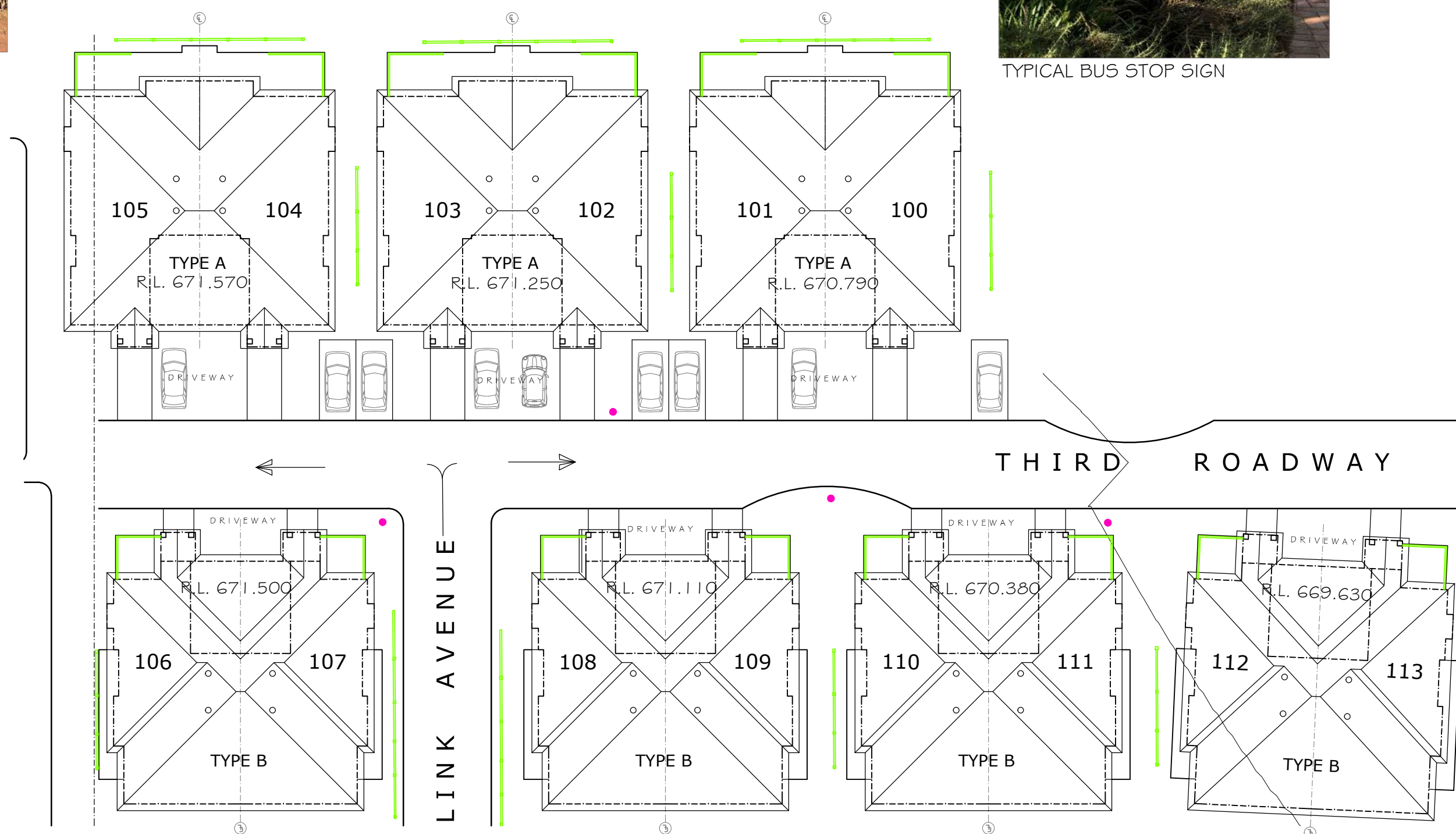
- TYPICAL LIGHT
- TYPICAL PRIVACY SCREEN  
(refer to landscaping drawings for heights)
- TYPICAL STREET SIGNAGE
- TYPICAL BUS STOP
- TYPICAL SITE SIGN



TYPICAL BUS STOP SIGN



TYPICAL STREET LIGHT



# STAGE 6



TYPICAL FENCING & PRIVACY SCREENING



APPLICATION ONLY,  
NOT FOR CONSTRUCTION



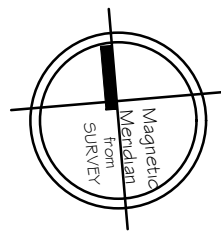
EVOLVING DESIGN & DRAFTING.  
NO: SHOP 6 - 459 GREAT WESTERN HIGHWAY,  
FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: PROPOSED LIGHT, PRIVACY & SIGN - STAGE 6  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No.	115/20
SHEET NO	DA10
LP6	










TYPICAL SITE PLAN SIGN



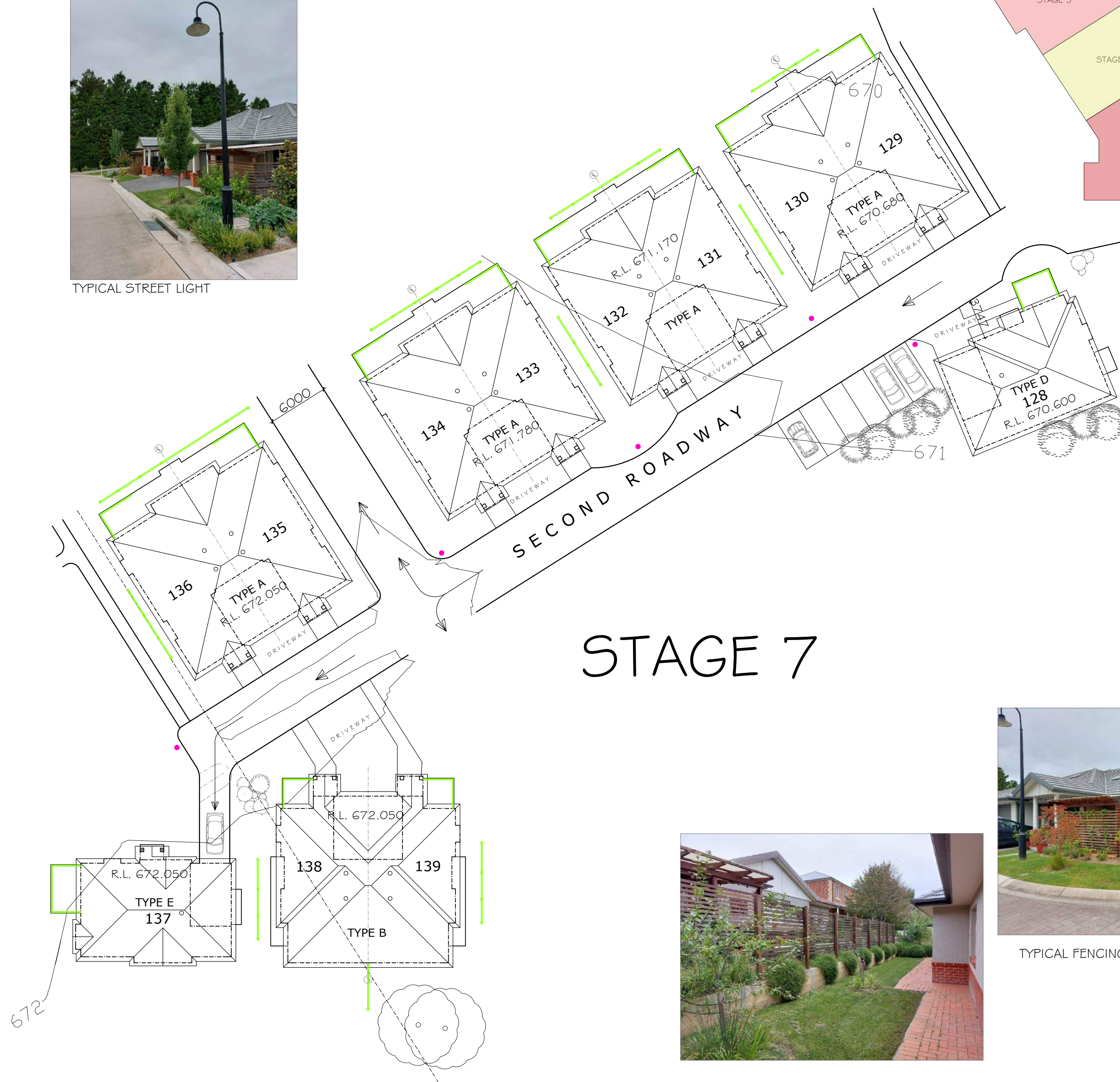
TYPICAL HOUSE NUMBER SIGN

### Legend

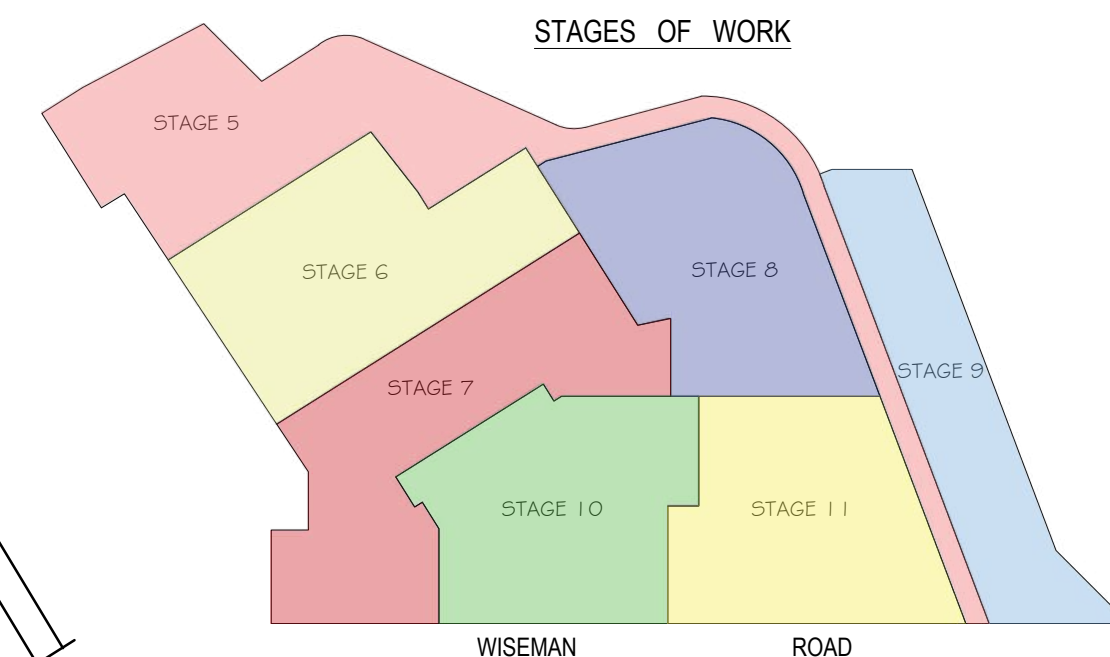
-  TYPICAL LIGHT  
 TYPICAL PRIVACY SCREEN  
 (refer to landscaping drawings for heights)  
 TYPICAL STREET SIGNAGE  
 TYPICAL BUS STOP  
 TYPICAL SITE SIGN



TYPICAL STREET LIGHT



## STAGES OF WORK



TYPICAL STREET SIGN



TYPICAL FENCING &amp; PRIVACY SCREENING

APPLICATION ONLY,  
NOT FOR CONSTRUCTION



**EVOLVING DESIGN & DRAFTING.**  
NO: SHOP 6 - 459 GREAT WESTERN HIGHWAY,  
FAULCONBRIDGE. NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: PROPOSED LIGHT & PRIVACY STAGE 7  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No.	115/20
SHEET NO	AMENDMENT
LP7	DA/10





PEPPERFIELD

LEGEND:

- LAKES
- SOFT GREENS
- GOLF PRACTICE NET
- TENNIS COURT
- BASKETBALL
- POOL
- MULTIPLAYER PARKING
- MAIL FACILITY
- SWIMMING GARDEN
- PLAYGROUND
- RECREATION

0 100 METERS

RECEPTION  
PEPPERFIELD HOUSE  
HIGHGATE HOUSE

A photograph of a residential area. In the foreground, there is a brick-paved walkway and a wooden bench. A signpost with a 'BUS ZONE' sign stands on the walkway. In the background, there is a house with a light-colored roof and a large tree on the left. The sky is blue with some clouds.

The site plan illustrates a residential development with the following details:

- Streets:** NORTH, WESTERN, PARADE, and SECOND ROADWAY.
- House Layouts:**
  - TYPE B:** Houses 114, 115, 116, 117, 118, 119, 124, 125, 126, 127.
  - TYPE A:** Houses 120, 121, 122, 123.
- Lot Numbers:** 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127.
- Driveways:** Indicated for lots 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127.
- Other Features:** A GARBAGE area, a BUS ZONE, and a TYPICAL STREET LIGHT.
- Photographs:**
  - A typical street light.
  - A house with a wooden deck.
  - A bus zone sign.

A large, rectangular, reddish-brown metal cage or enclosure, likely for a dog, situated outdoors. The cage has horizontal slats and is surrounded by greenery and a brick building in the background.

### Legend

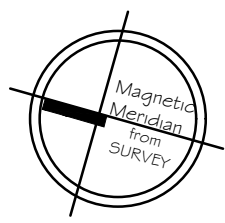
- APPLICATION ONLY,  
NOT FOR CONSTRUCTION



PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: PROPOSED LIGHT & PRIVACY STAGE 8  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No. 115/20	
SHEET NO LP8	AMENDMENT DA/10





TYPICAL BUS STOP SIGN



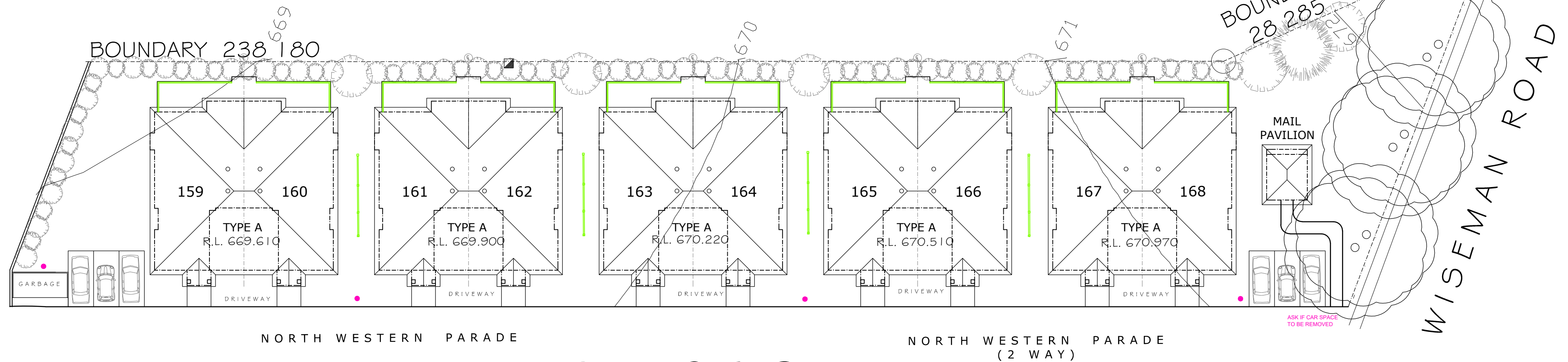
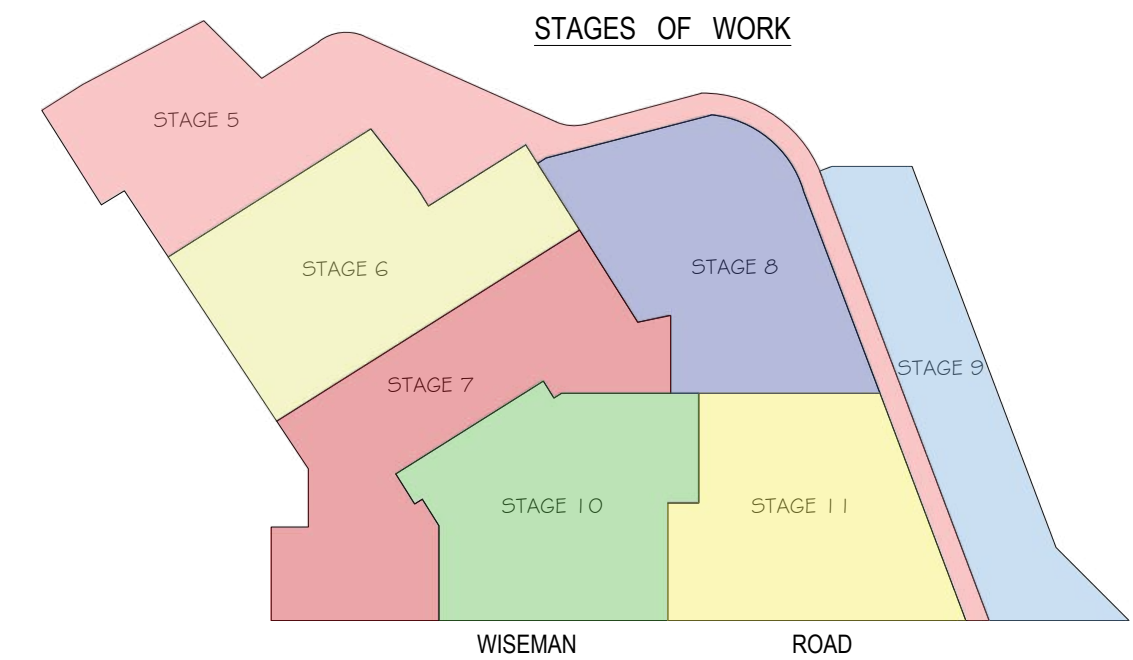
TYPICAL HOUSE NUMBER SIGN



TYPICAL SITE PLAN SIGN



TYPICAL STREET SIGN



## STAGE 9

### Legend

- TYPICAL LIGHT
- ▮ TYPICAL PRIVACY SCREEN (refer to landscaping drawings for heights)
- ▲ TYPICAL STREET SIGNAGE
- BS TYPICAL BUS STOP
- SS TYPICAL SITE SIGN



TYPICAL GARAGE BIN SCREENING AREA



TYPICAL FENCING & PRIVACY SCREENING



TYPICAL STREET LIGHT



PROPOSED MAIL PAVILION

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NOT FOR CONSTRUCTION



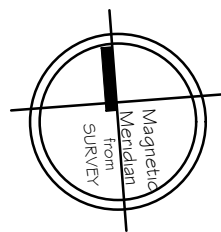
EVOLVING DESIGN & DRAFTING.  
NO: SHOP 6 - 459 GREAT WESTERN HIGHWAY,  
FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: PROPOSED LIGHT & PRIVACY STAGE 9  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No. 115/20  
SHEET NO. LP9  
AMENDMENT DA10





TYPICAL STREET SIGN



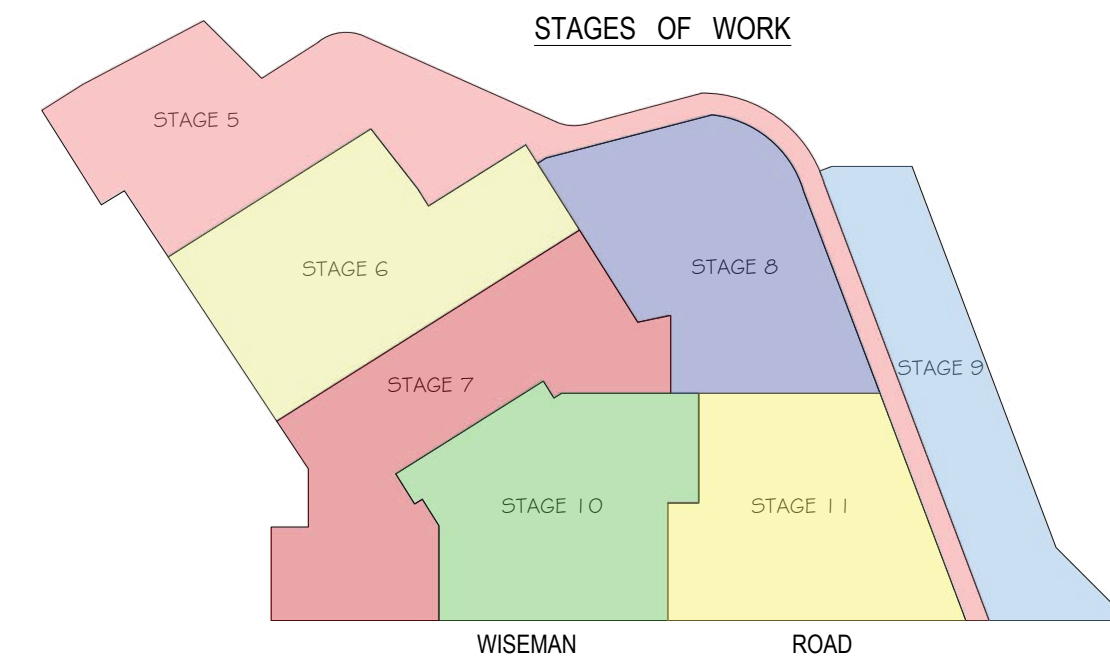
TYPICAL SITE PLAN SIGN



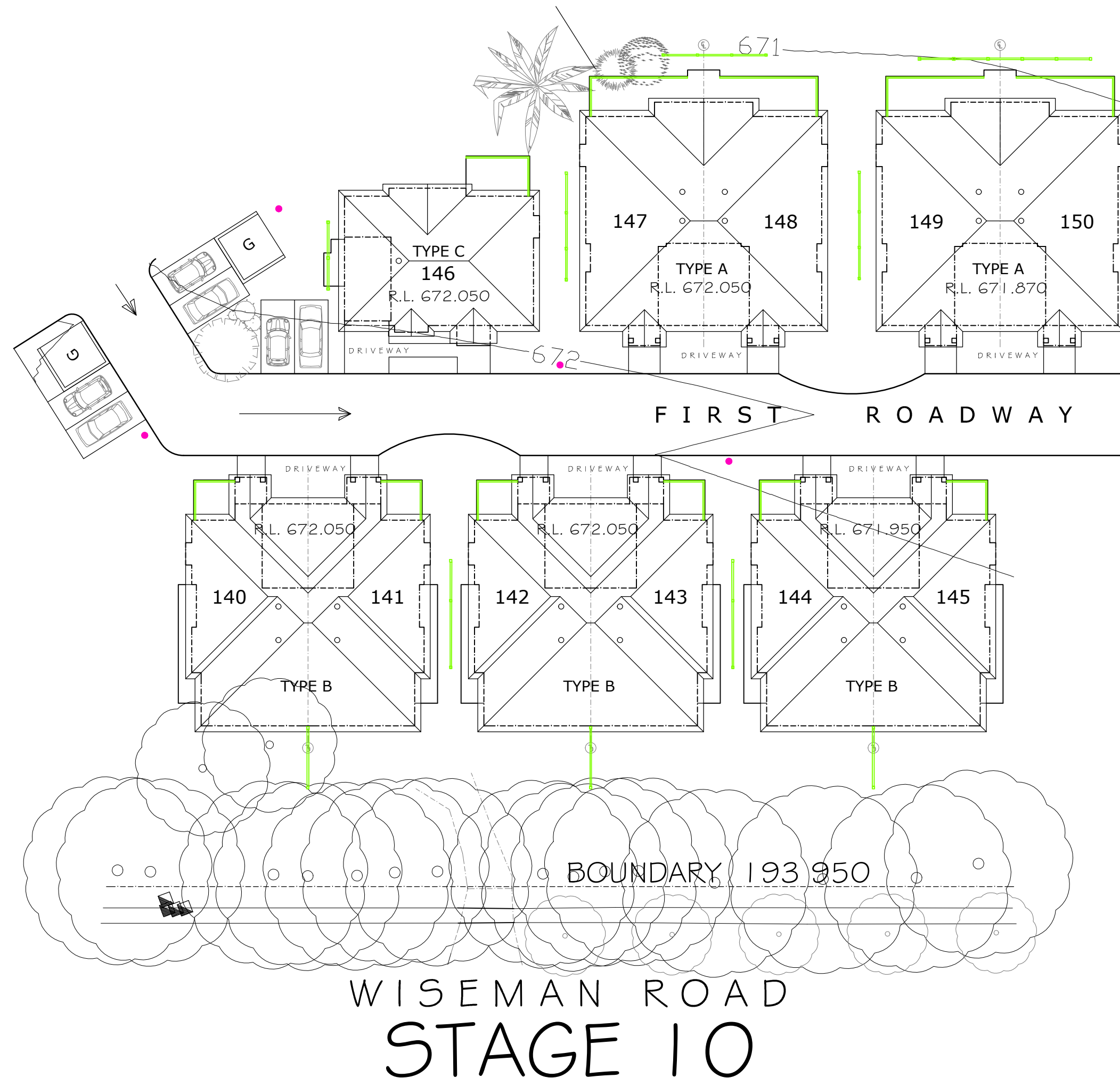
TYPICAL HOUSE NUMBER SIGN



TYPICAL STREET LIGHT



TYPICAL BUS STOP SIGN



TYPICAL FENCING & PRIVACY SCREENING



TYPICAL GARAGE BIN SCREENING AREA

## Legend

- TYPICAL LIGHT
- ▮ TYPICAL PRIVACY SCREEN (refer to landscaping drawings for heights)
- ▲ TYPICAL STREET SIGNAGE
- BS TYPICAL BUS STOP
- SS TYPICAL SITE SIGN

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FOR: PEPPERFIELD BOWRAL

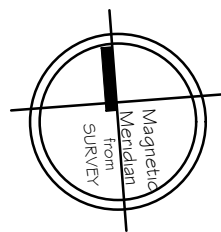
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS

DRAWING: PROPOSED LIGHT & PRIVACY STAGE 10  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No.	115/20
SHEET NO.	LP10
AMENDMENT	DA10

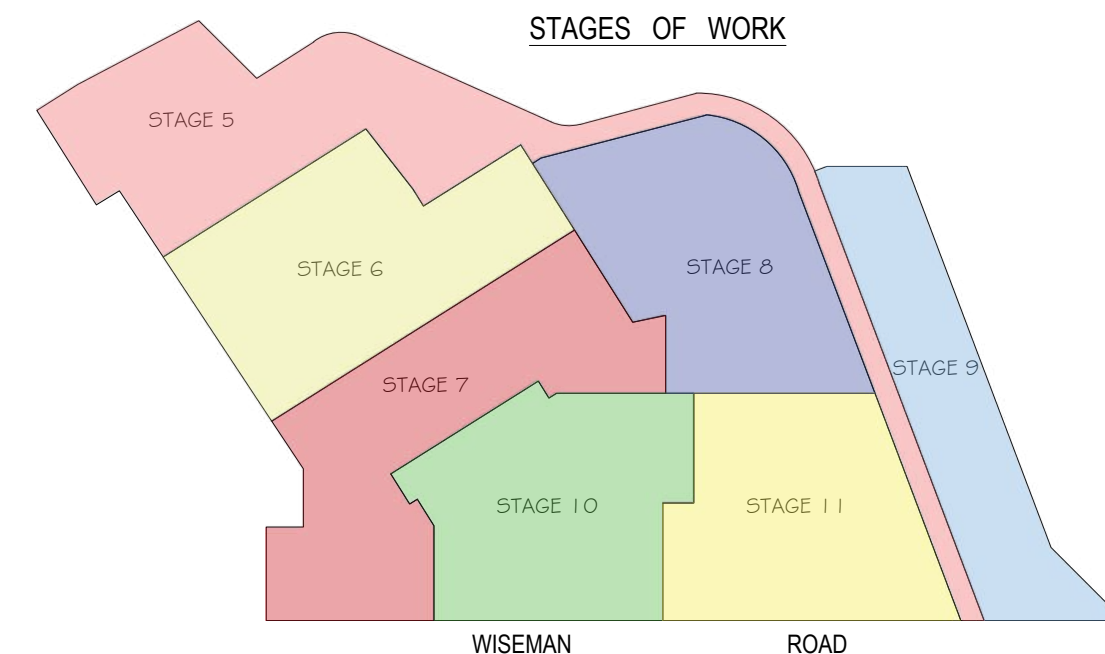




TYPICAL STREET SIGN



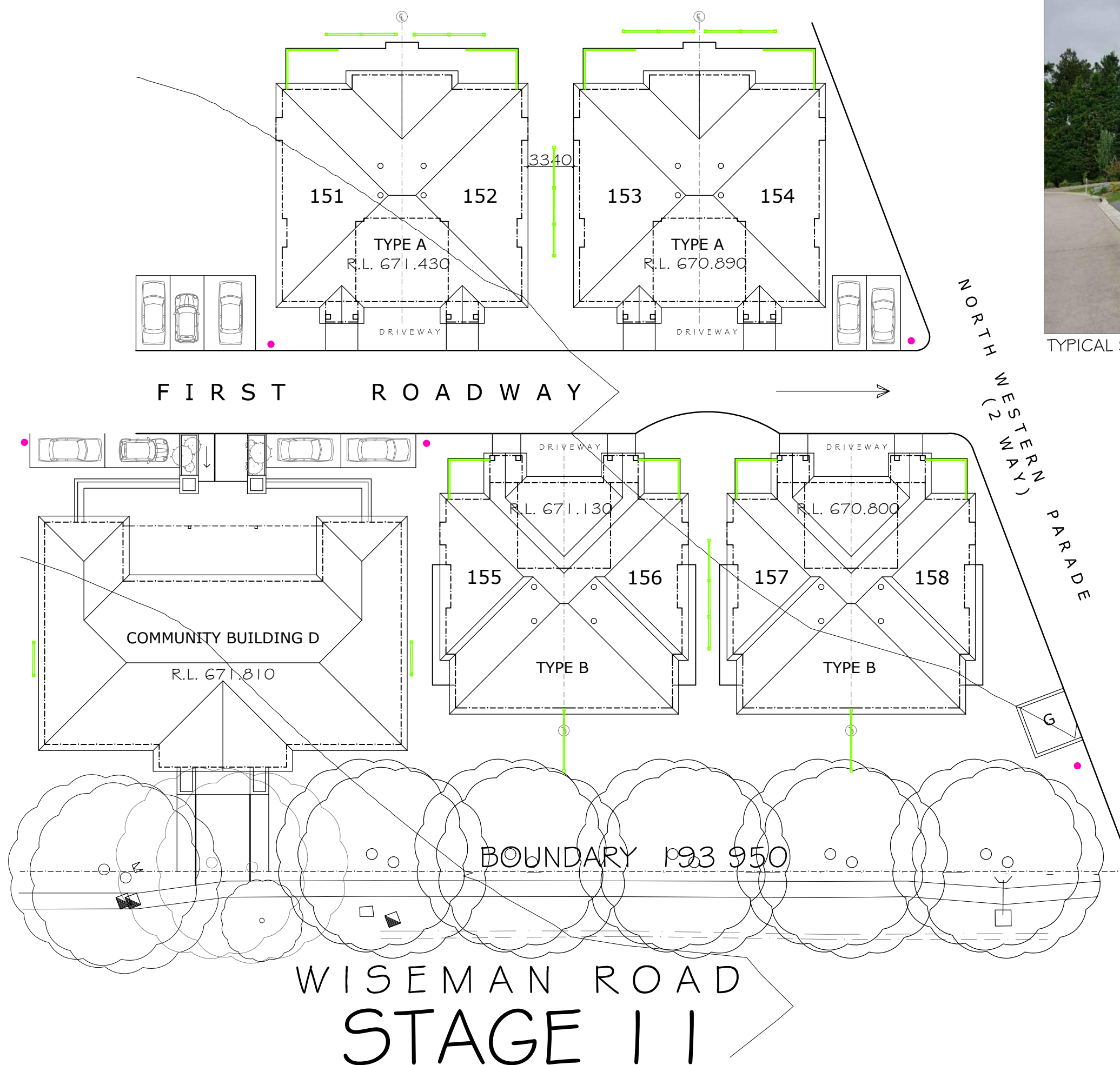
TYPICAL FENCING & PRIVACY SCREENING



WISMAN ROAD



TYPICAL SITE PLAN SIGN



TYPICAL STREET LIGHT



TYPICAL BUS STOP SIGN



TYPICAL HOUSE NUMBER SIGN

## Legend

- TYPICAL LIGHT
- ▬ TYPICAL PRIVACY SCREEN (refer to landscaping drawings for heights)
- ▲ TYPICAL STREET SIGNAGE
- BS TYPICAL BUS STOP
- SS TYPICAL SITE SIGN



TYPICAL GARAGE BIN SCREENING AREA

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FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISMAN ROAD,  
BOWRAL, 2576

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING: PROPOSED LIGHT, PRIVACY & SIGN - STAGE 11  
SCALE: 1 : 300@ A2 DATE: 04.05.22

JOB No.	115/20
SHEET NO.	DA10
LP11	DA10



Proposed development landscape matching existing trees along north of Wiseman Road to maintain transition to a rural landscape south of Wiseman Road

Maintaining exiting footpath and connecting to exisintg resort



Proposed development setbacks allowing for the introduction of new landscaping, including large trees, between the built form of any seniors living development and the Wiseman Road site frontage

Proposed development setbacks allows the transition from urban to rural land use south of Wiseman Road though a primary setback that maximises the retention of existing trees and landscaping

Photomontage 3-Community Hall Entry

Proposed development's set backs and open space reflects the transition between the urban interface of developments located to the north of Boardman Road and the rural landscape setting located to the south of Wiseman Road

Proposed development setbacks allows the transition from urban to rural land use south of Wiseman Road though a primary setback that maximises the retention of existing trees and landscaping

Maintaining existing footpath and connecting to existing resort



Proposed development landscape with dense trees and shrubs similar to existing trees to minimise visual impact on streetscape from new development

Proposed development setbacks allowing for the introduction of new landscaping, including large trees, between the built form of any seniors living development and the Wiseman Road site frontage

Photomontage 3- North Western Parade Driveway (Driveway from Wiseman Road)

APPLICATION ONLY,  
NOT FOR  
CONSTRUCTION

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING:STREETSCAPE ANALYSIS 2/2  
EVOLVING DESIGN & DRAFTING  
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FAULCONBRIDGE, NSW 2776  
PH: (02) 4751 5842 INFO@EVOLVINGDESIGN.COM.AU  
ABN: 67 164 531 748

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
BOWRAL, 2576

SCALE: Not to Scale/ A2  
DATE: 04.05.22

JOB No.	115/20
SHEET NO	PM/2
AMENDMENT	DA10





Proposed development setbacks allows the transition from urban to rural land use south of Wiseman Road through a primary setback that maximises the retention of existing trees and landscaping

Proposed development landscaping along the northern frontage of Wiseman Road, creates visual buffer between urban development to the north of Wiseman Road and the rural landscape setting south of Wiseman Road

Proposed development setbacks allowing for the introduction of new landscaping, including large trees, between the built form of any seniors living development and the Wiseman Road site frontage

Dense trees and shrubs creates soft visual barrier to minimise visual impact on streetscape from proposed development

Proposed development setbacks allowing for the introduction of new landscaping, including large trees, between the built form of any seniors living development and the Wiseman Road site frontage

Maintaining existing footpath and connecting to existing resort

Photomontage 1 - Streetscape on Wiseman Road looking towards North-West  
(on Left Rural landscape and on right new proposed development)

APPLICATION ONLY,  
NOT FOR  
CONSTRUCTION

PROJECT: PEPPERFIELD RESORT BOWRAL  
STAGE 5-11 WORKS  
DRAWING:STREETSCAPE ANALYSIS 1/2

FOR: PEPPERFIELD BOWRAL  
AT: No. 6 & 8 WISEMAN ROAD,  
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DATE: 04.05.22

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SHEET NO: PM/1  
AMENDMENT: DA/10